

## **30-R AT CRC PLANNED RESIDENTIAL DISTRICT**



### **Preliminary Development Master Plan Blacksburg, Virginia**

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## 1 Planned Residential District Intent

### 1.1 Purpose

The Planned Residential Development (PRD), 30-R at CRC is proposed as a PRD due to its unique location and value. The property is surrounded by Virginia Tech's Corporate Research Center (CRC) and currently zoned Research and Development setting the property value higher than typical high density residential properties. Couple this with the necessity of professional housing in the Town of Blacksburg, the location presents a unique opportunity to support the CRC while showcasing an attractive place to live and work. In an effort to provide the much needed professional housing to the CRC and offset the higher land value a higher density is being requested by way of a PRD.

To support the higher density need, the project will implement ingenuity, imagination, and high quality design by way of its amenities, connectivity to CRC, and modern Architecture. The community amenities support activities for all ages with a high quality and modern design. Outdoor recreational amenities are planned and have been placed to maximize southern sun exposure, with pedestrian pathways that encourage collaboration between residents of the property. Connectivity will be provided directly to CRC Campus by way of vehicle, pedestrian, and bicycle paths. The building placements and architecture take advantage of northern views, support EarthCraft standards, promote a high level of energy efficiency, and compliment the CRC Building's Architecture.

### 1.2 Justification for Change

The proposed rezoning request is justified based on the unique opportunity created by the property's close proximity to CRC and the CRC desire to improve availability of professional housing at its Campus. The existing and future market for professional housing demand from CRC growth promotes this type of housing need.

The neighboring CRC currently has 182 companies with a combined 3,100 employees, and intends to double within the next 10 to 15 years. The CRC competes with other Research Centers across the country that provides a professional housing component. In an effort to be more competitive with the national and global markets, the proposed PRD will fill the desire of the CRC to provide a place for its employees to live immediately adjacent to their work. The CRC has presented and defined the proposed project to its Board as, "a professional housing project for Virginia Tech Corporate Research Center with onsite living to increase collaboration and the living experience of CRC and other professionals, thus enhancing the CRC's growth and expanding its innovation."

### 1.3 Relationship to Comprehensive Plan

The proposed development supports portions of the Comprehensive Plan by implementing the following:

- Comprehensive Plan Community Character Principle CCP. 1. Well- designed pedestrian and bicycle friendly routes and facilities are essential to the Town's identity as a walkable and bikeable community. **The PRD will provide internal and external pedestrian and bicycle connections.**
- CCP. 14: Transit connections and bus stop facilities are important components to support transit as a viable transportation option in town. These elements should be part of the design of the

new developments and be coordinated with Blacksburg Transit regarding service availability.

**The PRD will connect the closest BT stop with a crosswalk on Research Center Drive.**

- Comprehensive Plan Transportation Objective & Policy T. 10 Complete the construction of a connected sidewalk system. **The PRD will provide a pedestrian walkway on both sides of Research Center Drive.**
- CCP.18 Minimize light pollution, balancing dark skies with a safe pedestrian and vehicular experience at night. **The PRD will provide adequate lighting for security while maintaining required levels to prevent light pollution.**
- T.12: Maintain and improve the aesthetic quality of the pedestrian environment by planting street trees and other landscaping, and installing street furniture where appropriate. **The PRD will provide street landscaping and intends to work with Town to offer a location for Bike Share facility on Research Center Drive as the Bike Share Program becomes a reality.**
- T.28: During the development review process, ensure that transit service and access to/from the transit stop and the development are provided. **The applicant has met with Transit Service and provided all desires recommended by BT including location of entrance, crosswalk, and walkway to bus stop.**
- Residential Infill Guidelines Best Practice #3: Create a pedestrian friendly streetscape. **The PRD will provide a pedestrian friendly street scape.**
- Multifamily Use & Design Standard for sidewalks §4216(a)(4):
  - Sidewalks shall connect each unit to the parking area serving that unit, to other units onsite, and to other buildings or uses on adjacent lot. **The PRD will provide interconnectivity between buildings and adjacent uses.**
- Site Development Plans Minimum Standards and Improvements Required §5120(d)(1):
  - Sidewalks meeting the design standards of the Subdivision Ordinance shall be provide on public or private land along all parts of a site abutting a developed public street where such sidewalks do not exist as of the date of the application for site plan approval. The provision of these sidewalks will advance the goal of the Blacksburg comprehensive plan of the development of “a network of walkways in the Town to increase the safety and convenience of pedestrian travel.” The Town Council finds that the need for such sidewalks in this Town is substantially generated by the development. **The PRD will connect a multi-purpose trail on Research Center Drive and provide sidewalk along east side of Research Center Drive to connect Knollwood internal sidewalk to Bus Stop.**
- CCP.14 Transit connections and bus stop facilities are important components to support transit as a viable transportation option in Town. These elements should be part of the design of new development sand be coordinate with Blacksburg Transit regarding service availability. **The PRD will provide connection to BT Service.**
- Multifamily Dwelling Use & Design Standards §42163(a)(4):
  - All parking spaces shall be located behind the front building line. **The PRD is requesting an exception to this; however has limited parking in front of the building to parallel spaces on one side of drive aisle. The desire to provide full**

**circulation around the buildings for vehicular connectivity, prevention of dead end parking and creation of massive parking spaces requires a drive aisle in front of the building.**

- Comprehensive Plan Land Use Objective & Policy LU.7: Encourage developers to work with surrounding property owners and tenants to resolve community concerns prior to formalizing development plans. **The PRD will address connectivity to CRC and assist the daycare with pedestrian traffic crossing Research Center Drive.**
- Comprehensive Plan Jobs & Housing Objective & Policy J&H.6 Coordinate economic development efforts of the Corporate Research Center, the Arts Initiative, and the implementation of the Campus Master Plan. **The PRD will support the CRC.**
- J&H.37 Market Blacksburg as a place for young professionals to live and work. Survey young professionals currently living in Town as to what jobs and housing opportunities need to be available to attract young professionals. **The PRD intent is to provide professional housing.**
- Comprehensive Plan Community Character Principle CCP.6. Creation of public and private parks and recreation amenities is an important part of land use development decisions. **The PRD will provide private park like amenities to provide activity spaces for the future residents.**
- Multifamily Use & Design Standard for open space, recreation, and trails §4216(a)(6)
  - Except in the Downtown Commercial (DC) district and Mixed Use (MXD) district, for any development of twenty (20) or more bedrooms, a minimum of twenty (20) percent of the gross land area shall be reserved as open space. A specific recreational activity area or areas shall be developed and maintained for the residents of the development as a part of this open space. **The PRD will meet the desired Open Space, Recreation, and Trail standard.**

## 2 Land Use Plan

### 2.1 Proposed Development

This application requests the rezoning of property located on Research Center Drive to “Planned Residential”. Currently the vacant land is zoned “Research and Development”. This planned residential development will include three multi-family buildings with supporting offices and amenity areas that seek to complement and support its neighbor, Virginia Tech’s Corporate Research Center (CRC). This development offers access to both Blacksburg Transit and walking/biking access with the extension of the CRC walking/biking trail.

The population of Montgomery County has grown faster than the rest of the New River Valley for the past twenty years. The Virginia Employment Commission expects this trend to continue which will create a steady demand for new housing developments, employment, labor, and commercial/industrial development as shown in the Town of Blacksburg’s Comprehensive Development Plan. Blacksburg’s housing is currently dominated by student housing and high-end real estate which leaves young professionals, families, married students, graduate/professional students to seek housing in the surrounding localities. This proposed development intends to create housing for

the aforementioned groups that meets the development standards of Blacksburg while supporting Blacksburg's sustainability commitment to environment, the economy, and social equity.

## **2.2 Surveyed ALTA/NSPS Map**

An ALTA/NSPS Land Title Survey was prepared by Parker Design Group, Inc. of Roanoke, Virginia. The survey map has been provided and is located in Appendix A1. The legal description for the property included in this application is described below.

## **2.3 Legal Description**

BEGINNING AT A POINT ON THE WESTERN RIGHT OF WAY LINE OF RESEARCH CENTER DRIVE; THENCE LEAVING THE SAID RIGHT OF WAY LINE AND WITH THE NORTHERN PROPERTY LINE OF THE PROPERTY OWNED BY VA TECH CORP RESEARCH CENTER INC AS RECORDED IN PLAT BOOK 27, PAGE 129, AND PLAT BOOK 17, PAGE 64, THE FOLLOWING FOUR (5) COURSES, N 83°51'32" W 291.44' TO A POINT; N 43°25'15" W 23.92' TO A POINT; S 48°32'52" W 21.01' TO A POINT; N 83°51'32" W 426.88' TO AN IRON PIN FOUND; THENCE N 06°32'11" E 590.63' TO AN IRON PIN FOUND ON THE SOUTHERN BOUNDARY LINE OF THE PROPERTY OWNED BY VPI BUILDINGS AND LAND AS RECORDED IN DEED BOOK 2010, PAGE 3159; THENCE WITH THE SAID VPI BUILDINGS AND LAND PROPERTY, S 74°02'32" E 375.15' TO AN IRON PIN FOUND AT THE NORTHWEST CORNER OF THE PROPERTY OWNED BY VIRGINIA TECH FOUNDATION INC., AS RECORDED IN DEED BOOK 1252, PAGE 377; THENCE WITH SAID VIRGINIA TECH FOUNDATION INC. PROPERTY FOR THE FOLLOWING TWO (2) CALLS; S 06° 34'04" W 222.61' TO AN IRON PIN FOUND; S 83°28'33"E 380.06' TO AN IRON PIN FOUND ON THE WESTERN RIGHT OF WAY OF RESEARCH CENTER DRIVE; THENCE WITH SAID RIGHT OF WAY S 06°28'35" W 265.45' TO AN IRON PIN FOUND; THENCE S 06°28'35" W 36.06' THE PLACE OF BEGINNING, AND CONTAINING 7.383 ACRES.

## **2.4 Structures**

The buildings shall be devoted to residential use with supporting amenities and administration areas. The maximum number of bedrooms associated with the residential portion of the buildings shall be 425 bedrooms (57.56 per acre) within 207 proposed units (28.04 per acre). A unit matrix has been provided on the Conceptual Site Master Plan located in Appendix C1. All building elevations will complement the adjoining CRC facilities. Building footprints, elevations, and perspectives are located in Appendix B.

Building A located along Research Center Drive shall include administrative offices and amenities as well as an optional area for commercial office space should the need for this use become supportive to the community. The indoor offices and amenities will occupy a portion of the first floors as seen in Appendix B. Mail infrastructure will be internal to Building A. It is intended for these areas to provide both service and convenience for the residents.

## **2.5 Permitted Uses**

The following uses are permitted by right within "Planned Residential" district:

Residential

Multi-Family Dwelling

Office

General Office

Medical Office

Civic

Community Recreation

Open Space

Commercial

Business Support Services

Personal Services

**2.6 Conceptual Master Plan**

The Conceptual Master Plan located in Appendix C includes the following detailed drawings: Conceptual Site Master Plan, Open Space Exhibit, Internal Site Connectivity, Bike/Multi-Use Connectivity, and Preliminary Utility Plan. The Conceptual Master Plan shows the proposed location of the following items: buildings, parking lots, access driveways, sidewalks, amenities, utilities and stormwater management areas.

**2.7 Height, Lot Setback, & Coverage Ratios**

The following chart details the site's height requirements, setbacks, and lot coverage information.

<b>Building Structures Height Requirements</b>	
Maximum Building Height	60 feet
FAA Elevation Limitation	Below 2284' Elevation
<b>Building Setbacks</b>	
Front	35 feet
Side	15 feet
Rear	25 feet
<b>Lot Coverage</b>	
Maximum Impervious Area	80% of total site district area
Minimum Open Space	20% of total district area
Floor to Area Ratio	1.00
Maximum Bedrooms	425

**2.8 Occupancy/Unit Type**

This planned residential development shall have a maximum occupancy of a family plus two persons unrelated to the family; or no more than four unrelated persons as stated in Section 3113 (h) of the Blacksburg Zoning Ordinance.

The proposed unit mix is 1 bedroom, 2 bedroom, and 3 bedroom units. Approximately 25% of 207 units will be one bedroom, 47% will be two bedroom, and 27% will be three bedroom units. The one and two bedroom units have equivalent number of bathrooms, and the three bedroom units are split into 3 bedroom/3 bath, and 3 bedroom/2 bath units.

Units will be leased by the unit not the bedroom with the intent to attract professionals whom may share housing or families that would like guest bedroom and bath facilities, or utilize a bedroom for a personal office space.

## **2.9 Landscaping**

The site and parking lot shall be landscaped using the Town of Blacksburg Zoning Ordinance as a minimum standard. The majority of open space is to remain available for utilities, stormwater, and landscaping. The landscaping of this site will improve the aesthetic quality of pedestrian environment while contributing to the sustainability of the site and town. The acreage of this development will allow for landscaping that surpasses the requirements set forth by that of the Town's Zoning Ordinance. This development's landscaping will be done in a manner that remains aesthetically pleasing while effectively and efficiently using open space to maximize tree coverage.

More specifically, the development will provide parking lot landscaping, tree canopy, and street tree plantings per the Town ordinance which require 5% of parking area landscaped, one tree per ten parking spaces, perimeter parking trees, one tree per 30' road frontage with an overall canopy of 10% of the total parcel.

## **2.10 Parking**

This application is proposing a reduced parking to bedroom ratio of 0.8 spaces per bedroom. Typically, the minimum parking required for multi-family dwellings is 1.1 spaces per bedroom with no maximum limit on parking as stated by section 5220 (a) of the Town's Zoning Ordinance, but changes may be approved as stated by section 3113(f) of the Town's Zoning Ordinance. These units are being marketed towards CRC employees, their families, and other young professionals. The multiple bedroom apartments could be occupied by individual roommates; however, it is likely it will be occupied by young couples or families that will not utilize a space per bedroom. The proposed development's location reduces the need for a vehicle with adequate access to mass transit and walking/biking routes. The Blacksburg Transit's CRC route runs along Research Center Drive in front of the proposed development with the nearest stop located across Research Center Drive in front of The Reserve at Knollwood. In addition, we believe that similar uses have an approximate 80% parking space ratio utilization rate.

The proposed parking lot will be accessible through both Research Center Drive and Kraft Drive. The common parking lot area will be comprised of 9'x18' standard, 10'x20' parallel, and 8'x16' compact spaces. The minimum reserved spaces for the handicapped shall comply with federal regulations pursuant to the Americans with Disabilities Act and the Virginia Statewide Building Code. The proposed parking layout is shown on the Conceptual Site Master Plan which located in Appendix C1.

## **2.11 Amenities**

The amenities provided for the proposed PRD will complement the target market for professional housing and be similar to other professional housing developments supporting competing Research Parks. For example, the

development proposes collaboration spaces, and residents will be connected to surrounding CRC outdoor amenities which include disc golf, volley ball, basketball, and multi-purpose trails.

The proposed amenities within the PRD will include at a minimum the following:

- Pool
- Multiple Outdoor Lounge Areas
- Yoga Lawn
- Fire Pits
- Grill Stations
- Shade areas
- Tot Play Areas
- Synergy Pods
- Fitness Space
- Café Space
- Storage Space
- Mail Space
- Hangout/Social Spaces
- Covered Bicycle Parking

Reference Appendix C for Site Layout of proposed Amenities.

### 3 Public Utilities

The Preliminary Utility Plan is located in Appendix C3. All utilities shall be constructed to Town standards, and where appropriate, be dedicated to the Town. Public utility easements will be dedicated along water distribution and sewer collection lines outside of the road right-of-way. Average daily flow has been estimated based on the Town of Blacksburg Standards and Virginia Department of Health Standards below.

$$\text{Water \& Sewer residential usage} = (425 \text{ Units}) \times (100 \text{ gal/day per person}) = 42,500 \text{ gal/day}$$

$$\text{Estimated Water Usage} = 42,500 \text{ gal/day}$$

$$(\text{Length of New Sewer Pipe}) \times (\text{Infiltration Factor}) = (\pm 1,500') \times (1.5 \text{ gpd/ft}) = 2,250 \text{ gal/day}$$

$$\text{Estimated Sewer Usage} = 44,750 \text{ gal/day}$$

#### 3.1 Water

All water systems shall be installed according to Town standards. The domestic water and fire flow shall be brought into the site from the existing 8-inch water main from Research Center Drive. The proposed waterline will be looped as shown on the Preliminary Utility Plan located in Appendix C3. Fire hydrants will be placed within the site according to Town ordinance and fire code requirements. The Town's Engineering Department has been

contacted to ensure there is adequate pressure and flow in existing waterlines which will be confirmed by the Town Water Resources Department at the time of site plan development.

### ***3.2 Sanitary Sewer***

All sanitary sewer systems shall be installed according to Town standards. All of the development's sanitary sewer shall be collected on site and routed west to the existing sanitary sewer running along Kraft Drive. The Town's Engineering Department has been contacted to ensure there is adequate capacity in the existing downstream sanitary sewer which will be confirmed by the Town Wastewater Engineer at the time of site plan development.

### ***3.3 Storm Drainage***

A Stormwater Concept plan has been submitted in conjunction with this document addressing stormwater quality and quantity requirements of the Town and State. The submittal details the stormwater project narrative, pre-development conditions, post-development conditions, downstream conditions, and maintenance/inspection plans. The SCS/TR-55 method is utilized to calculate stormwater runoff, peak discharge, hydrographs, and storage volumes. Information for calculations such as soil descriptions and precipitation data were gathered from the NRCS Web Soil Survey and NOAA Precipitation Frequency Data Server respectively. The Stormwater Concept Plan presents two options.

Option 1 - The proposed stormwater system consists of a series of drop inlets that collect all on-site stormwater, traveling through an underground detention system which outfalls to a new pond located off of Kraft Drive. The stormwater then travels from this pond through a culvert running under Kraft Drive to an existing pond located off of Pratt Drive. The following are explored in the submittal package: pre-developed hydrologic conditions, post-developed hydrologic conditions, storm system calculations, channel calculations, and runoff reduction calculations. In summation, this site's 1, 2, and 10-year post-developed runoff rates will be less than or equal to their pre-development storm events.

Option 2 - The proposed stormwater system consists of a series of drop inlets that collect all on-site stormwater and detains it through an onsite underground detention system. The following are explored in the submittal package: pre-developed hydrologic conditions, post-developed hydrologic conditions, storm system calculations, channel calculations, and runoff reduction calculations. In summation, this site's 1, 2, and 10-year post-developed runoff rates will be less than or equal to their pre-development storm events.

### ***3.4 Trash and Recycling***

General dumpster pads and dumpsters will be conveniently located to provide for trash and recycling pickup. Each dumpster location will provide the required waste capacity, and recycling capacity for 12-gallons per bedroom for the nearest building to be collected weekly. The dumpster locations are each sized accordingly. The location of these dumpster pads and dumpsters are shown on the Conceptual Site Master Plan located in Appendix C1.

### ***3.5 Other Utilities***

Utility connections such as power, phone, cable televisions, gas, and any other miscellaneous utilities serving this community shall be located underground. In order to avoid impacts to adjoining properties, coordination with the Virginia Tech Electric Service, ATMOS Gas Service, and private utility companies is necessary and will be handled appropriately.

## 4 Traffic Circulation Pattern

### 4.1 Access Drives & Vehicular Traffic

The parking area for the multi-family dwellings will be accessed via Research Center Drive. A cross connection near the south end of the site to the adjoining CRC parking lot would allow for access via Kraft Drive. The access driveway and cross connection to the CRC can be seen on the Conceptual Site Master Plan located in Appendix C1.

A Virginia Department of Transportation (VDOT) Traffic Impact Analysis (TIA) Supplemental Application for the Town of Blacksburg and a Turn Lane Warrant Analysis were submitted in conjunction with this document. Bi-directional trip data was collected on Research Center Drive for this development. A trip generation spreadsheet was created utilizing the collected data and information from the Institute of Transportation Engineer's *Trip Generation Manual, 10<sup>th</sup> Edition*. This spreadsheet and other calculations located in the Turn Lane Warrant Analysis confirm that a TIA, right turn lane, left turn lane, and tapers are not warranted for this site; however the Conceptual Site Plan depicts proposing an entrance aligned with Sheliah Court with tapers and associated cross walk. The following table is a summary of the data collected and calculated trips generated:

<b>Trip Generation for Research Center Drive</b>							
		<i>Calculated Peak Hour Trips</i>					
ITE Use #	Units	Weekday 7-9 AM	Weekday AM Gen.	Weekday 4-6 PM	Weekday PM Gen.	Saturday	Sunday
221	207	75	66	91	85	91	81

### 4.2 Pedestrian Walks & Mass Transit

There is currently an existing trail that runs along Research Center Drive at both ends of the site. The 2016 Town of Blacksburg Comprehensive Plan Land Use Map Series Map D: Paths to the Future October 14, 2014, currently shows a proposed public route running along the front of the site. This proposed trail from the paths to the future map can be seen in Appendix D1. The proposed development intends to connect the existing CRC trail with a sidewalk leading to the site. The sidewalk off of the main trail will connect all multi-family dwellings and amenity areas. The proposed trail and on-site sidewalk are shown in the Conceptual Site Master Plan located in Appendix C1. The trail will be 10' in width while the sidewalk connecting the multi-family dwellings and amenities will be 5' in width.

This residential development provides adequate access to Blacksburg Transit (BT) bus service. The BT's CRC route runs throughout the CRC and to Virginia Tech's main campus. The closest bus stop is located near the southeast corner of the site in front of The Reserve at Knollwood. A crosswalk across Research Center Drive near the corner

of Sheliah Court has been proposed. This crosswalk would provide safe and easy access to the BT bus stop along with connecting the CRC trail system.

Please reference Connectivity maps in Appendix C.

### **4.3 Bicycle Parking/Connectivity**

The PRD shall provide bicycle friendly amenities and spaces, with a minimum count reflecting 25% of the total number of bedrooms. Units will have adequate spaces for bicycles and elevators will have sufficient space to carry a bicycle to a unit. The proposed development will provide bicycle parking, including 36 covered bike stalls in front of the Building B amenity space, and 72 uncovered bike stalls throughout the site.

A new 10-ft wide multi-use trail connection is proposed along the east property line, which connects the existing trails on Research Center Drive. The Bike/Multi-use Connectivity Exhibit attached to this application shows regional connectivity from the site to surrounding campus properties, including dedicated bike paths and bike/vehicular shared routes.

## **5 Development Schedule**

Construction of the multi-family dwellings is expected to be completed within a 2-year period. It is expected that development will begin late in 2018 and open in 2020.

## **6 Design Principles and Concepts**

### **6.1 Zoning, Existing Land Use and Comprehensive Plan Vision**

The property is currently zoned “Research and Development” and is vacant. The area to the south and west of the property consists of the CRC and is zoned “Research and Development”. The area to the north of the site consists of the Virginia Tech Montgomery Executive Airport and Rainbow Riders Child Care Center zoned as “University” and “Research and Development” respectively. The area to the east of the site consists of Knollwood Commons and is zoned “Planned Residential”. Further southeast of the site contains a large area zoned as an “Office” district.

The 2016 Town of Blacksburg Comprehensive Plan Land Use Map Series’ Map A: Future Land Use October, 11, 2016, has this development located in the “Research and Development” area. The areas to the north, west, and south remaining in “Research and Development” areas as well. The areas to the east of the site contain high density residential, low impact commercial, and park land/open space/resource protection. To the southeast of the site are mixed use areas G and F which, in the future, look to support local residents and employees of the CRC.

The *Changing Housing Market* section of the Comprehensive Development Plan states the following: “On average, real estate in Blacksburg is often priced higher than elsewhere in the New River Valley, largely due to demand to be located close to Virginia Tech and the Corporate Research Center. Many groups, such as young professionals, young families, married students, and graduate/professional students are forced to find housing in surrounding localities and commute into Blacksburg. Additionally, the market is often challenging for retirees who wish to downsize and to continue living in Blacksburg. Housing and Neighborhood Services has been addressing the issue

of affordable workforce housing in Blacksburg, but there are still opportunities to increase the availability of affordable housing for these population segments and the other demographics discussed earlier in this chapter.”

The development is currently classified as a “Commercial & Employment” area as shown by Map C of the Comprehensive Development Plan. The Town’s Comprehensive Development Plan has a list of issues, policies, and objectives facing commercial and employment areas that our development has reviewed in order to fit the vision of Blacksburg 2046. The following are examples of how this development will fit into the sustainable, flourishing vision of Blacksburg:

- The connectivity to the CRC and VT of this development allows for residents to work, live, shop, and play locally reducing the need for vehicles.
- The site’s utilities and layout will utilize the land effectively and efficiently in order to promote technologic infrastructure and maximize landscaping.
- This development recognizes that the Town’s population is steadily growing, changing, and diversifying and looks to provide sustainable housing.
- Needed services such as a hospital, childcare, and commercial services are all located within 2.5-mile radius.

## **6.2 Site Development**

The Conceptual Site Master Plan shows a multi-family community connected to the CRC. The architectural design of this property resembles that of the CRC in order for the development to appear as a continuation of the CRC. The layout of the site has taken into account the existing topography efficiently utilizing the buildable portion of the property.

Open space will cover a minimum of 20% of the property following the Town’s Zoning Ordinances. The designated open space will be used for recreation and landscaping and shall remain relatively untouched except for utilities and stormwater management where necessary.

The Conceptual Master Plan provides a fluid and simple circulation for vehicles. Vehicles will mainly enter and exit from Research Center Drive; however, the connection to the Corporate Research Center provides access for residents to enter and exit from Kraft Drive. Parking lots have been designed for safe and convenient access for the residents. The Conceptual Master Plan intends to accommodate vehicles in a functional and aesthetically pleasing manner while minimalizing external effects on adjacent land uses.

## **6.3 Building Construction**

The multi-family dwellings will be composed of various floorplans including one, two, and three-bedroom units. The overall architectural design will follow the simple, contemporary aesthetic of the CRC. These four-story dwellings shall not exceed a height of 60 feet from elevation of the main entrance of the buildings. The dwellings and amenity areas have been rendered and are located in Appendix B3.

The exterior and interior amenity space architecture is intended to be a faceted counter point to the predominantly rectilinear forms and planes. The main interior amenity areas provide a transparent connection through strong visual presence to the outside audience. Hard lines are blurred through soft landscape adjacent to

the glass wall and interior textile finishes. The exterior use of brick and limestone flow seamlessly between the external and visceral.

## 7 Comprehensive Sign Plan

One free-standing sign will be constructed at the southeast corner of the site near the entrance on Research Center Drive. The sign will not exceed 50 square feet and will be no taller than 8 feet. All freestanding signs will have a base and meet Section 5523(e) and 5525 of the Town of Blacksburg Zoning Ordinance.

## 8 Adjoining Landowners

Owners of land adjoining the site are shown in the following chart and are listed by tax map parcel numbers with the name and mailing addresses:

<b>30-R AT CRC PLANNED RESIDENTIAL DISTRICT</b>		
<b>Adjacent Property Owners</b>		
<b>Tax Parcel</b>	<b>Owner</b>	<b>Address</b>
003989 317- 3 A	Virginia Tech Foundation Inc.	141 Pack Building Blacksburg, Virginia 24061
070905 256- A 1	VPI BLDGS & LAND	
035228 317- 9 4	VA Tech Corp Research Center Inc	1872 Pratt Drive Blacksburg, Virginia 24060
035217 317- 9 5	VA Tech Corp Research Center Inc	1872 Pratt Drive Blacksburg, Virginia 24060
010405 317- A 20	William C Harris Monica M Harris	Route 720 Onemo, Virginia 23130
180333 317- 8 1A	Knollwood Development LLC	P.O. Box 10397 Blacksburg, Virginia 24062

# Appendix

# Appendix A (Survey)

## ***A.1 ALTA/NSPS Land Title Survey***

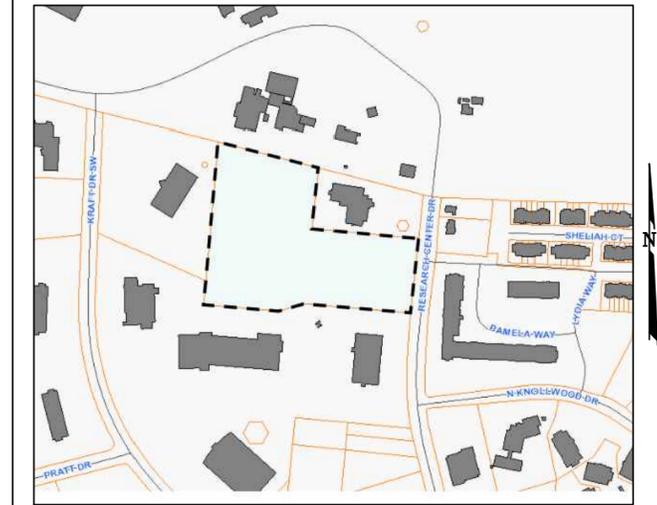
## ***A.2 Lot Line Adjustment Plat***



**SOURCE OF TITLE:**  
 THE PROPERTIES ADJUSTED HEREON ARE THE PROPERTIES KNOWN AS LOT 5, OWNED BY VIRGINIA TECH CORPORATE RESEARCH CENTER, INC. AS SHOWN ON "PLAT OF BOUNDARY LINE ADJUSTMENT" FOR PROPERTIES OWNED BY JOHN W. OLVER & VIRGINIA TECH CORPORATE RESEARCH CENTER RECORDED IN PLAT BOOK 27, PAGE 129 & THE PROPERTY OWNED BY JOHN W. OLVER AS SHOWN ON ABOVE MENTIONED PLAT WHICH IS THE LAST INSTRUMENT IN THE CHAIN OF TITLE TO SAID PROPERTIES.

ALAN CLEMONS, L.S. #002823 DATE \_\_\_\_\_

**LEGEND:**  
 ○ MONUMENT FOUND  
 ○ DEEDED CORNER  
 -X- FENCE  
 P.U.E. PUBLIC UTILITY EASEMENT  
 D.E. DRAINAGE EASEMENT



LOCATION MAP (BY MONTGOMERY COUNTY GIS) NO SCALE

STATE OF VIRGINIA OF \_\_\_\_\_ TO WIT:

I, \_\_\_\_\_ A NOTARY PUBLIC IN AND FOR THE AFORESAID STATE DO HEREBY CERTIFY THAT JOHN W. OLVER, WHOSE NAME IS SIGNED TO THE FOREGOING WRITING HAVE PERSONALLY APPEARED BEFORE ME AND ACKNOWLEDGED THE SAME IN MY AFORESAID JURISDICTION ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ 2018.

NOTARY PUBLIC, DATE & SEAL

REGISTRATION #: \_\_\_\_\_

ORIGINALLY - 16.065 ACRES  
 LESS 0.350 ACRES BEING CONVEYED  
 TO TAX PARCEL 317-3 13  
**15.715 ACRES REMAINING**

NEW 15' P.U.E. & D.E. RELOCATED

STATE OF VIRGINIA OF \_\_\_\_\_ TO WIT:

I, \_\_\_\_\_ A NOTARY PUBLIC IN AND FOR THE AFORESAID STATE DO HEREBY CERTIFY THAT JOE MEREDITH, WHOSE NAME IS SIGNED TO THE FOREGOING WRITING HAVE PERSONALLY APPEARED BEFORE ME AND ACKNOWLEDGED THE SAME IN MY AFORESAID JURISDICTION ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ 2018.

NOTARY PUBLIC, DATE & SEAL

REGISTRATION #: \_\_\_\_\_

ORIGINALLY - 7.033 ACRES  
 PLUS 0.350 ACRES BEING CONVEYED  
 FROM TAX PARCEL 317-9 5  
**CREATING 7.383 ACRES**

CREATING 7.383 ACRES

N/F  
 VPI BUILDINGS AND LAND  
 TAX #256-A 1  
 DEED BOOK 2010, PAGE 003159

CURVE TABLE						
CURVE #	LENGTH	RADIUS	TANGENT	DELTA	CHORD DIRECTION	CHORD LENGTH
C1	293.62'	1179.00'	147.57'	14°16'08"	S 0°56'10" E	292.86'
C2	874.47'	941.89'	471.61'	53°11'41"	S 22°50'45" E	843.40'

LINE TABLE		
LINE #	DIRECTION	LENGTH
L1	N 43°25'15" W	23.92'
L2	N 48°32'52" E	21.01'

**GENERAL NOTES:**

- OWNER ADDRESS FOR VTCRC:  
1872 PRATT DRIVE  
BLACKSBURG, VIRGINIA 24060
- OWNER ADDRESS FOR JOHN W. OLVER:  
806 DRAPER ROAD  
BLACKSBURG, VIRGINIA 24060
- THIS PLAT WAS PREPARED WITHOUT BENEFIT OF A TITLE REPORT AND IS SUBJECT THERETO. THEREFORE, THERE MAY EXIST ENCUMBRANCES WHICH AFFECT THE PROPERTY NOT SHOWN HEREON.
- THE SUBJECT PROPERTY IS WITHIN THE LIMITS OF ZONE "AE" & "X" AS SHOWN ON THE FEMA FLOOD INSURANCE RATE MAP PANEL NO. 51121C0113 C, EFFECTIVE DATE SEPTEMBER 25, 2009. THIS DETERMINATION IS BASED ON SAID MAP AND HAS NOT BEEN VERIFIED BY ACTUAL FIELD ELEVATIONS.



THIS PLAT IS BASED ON A CURRENT FIELD SURVEY AND FROM RECORDS. JOHN W. OLVER (D.B. 27, PG 129) AND VA TECH RESEARCH CENTER INC (P.B. 27, PG. 129) ARE THE OWNERS OF RECORD.

LOT LINE ADJUSTMENT FOR  
**JOHN W. OLVER &  
 VIRGINIA TECH CORPORATE  
 RESEARCH CENTER, INC.**

TAKING 0.350 ACRES FORM TAX PARCEL 317-3 13  
 AND COMBINING IT WITH TAX PARCEL 317-9 5  
 CREATING NEW TAX PARCEL 317-3 13 (15.715 ACRES)  
 AND NEW TAX PARCEL 317-9 5 (7.383 ACRES)  
 TOWN OF BLACKSBURG  
 MONTGOMERY COUNTY, VIRGINIA  
 SCALE: 1"=100'

TAX #: 317-9 5, AND 317-3 13  
 DRAWN: MAC  
 CALC.: MAC

DATE: FEBRUARY 09, 2018  
 W.O.: 17-0117:02



2122 Carolina Avenue, S.W.  
 Roanoke, Virginia 24014  
**parker**  
 DESIGN GROUP  
 ENGINEERS \* SURVEYORS \* PLANNERS \* LANDSCAPE ARCHITECTS  
 Phone: 540-387-1153  
 Fax: 540-389-5767  
 www.parkerdg.com

**CONFORMING STATEMENT:**

THIS IS TO CERTIFY THAT THE UNDERSIGNED OWNERS PROPOSE TO ESTABLISH ALL THE BOUNDARY LINE ADJUSTMENTS AS SHOWN HEREON TO CONFORM TO ALL THE REQUIREMENTS AND PROVISIONS OF THE SUBDIVISION AND ZONING ORDINANCES OF THE TOWN OF BLACKSBURG.

VIRGINIA TECH CORPORATE RESEARCH CENTER, INC.

JOE MEREDITH, PRESIDENT DATE \_\_\_\_\_

JOHN W. OLVER DATE \_\_\_\_\_

**OWNERS' CONSENT AND DEDICATION:**

THIS IS TO CERTIFY THAT THIS BOUNDARY LINE ADJUSTMENT PLAT HAS BEEN PREPARED WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE WISHES AND DESIRES OF THE UNDERSIGNED OWNERS. THE OWNERS HEREBY DEDICATE TO THE TOWN OF BLACKSBURG THE EASEMENTS SHOWN ON THIS PLAT.

VIRGINIA TECH CORPORATE RESEARCH CENTER, INC.

JOE MEREDITH, PRESIDENT DATE \_\_\_\_\_

JOHN W. OLVER DATE \_\_\_\_\_

TOWN ENGINEER	DATE
TOWN PLANNER	DATE



## Appendix B (Architectural Documents)

***B.1 Architectural Footprints (A1.01-A1.07)***

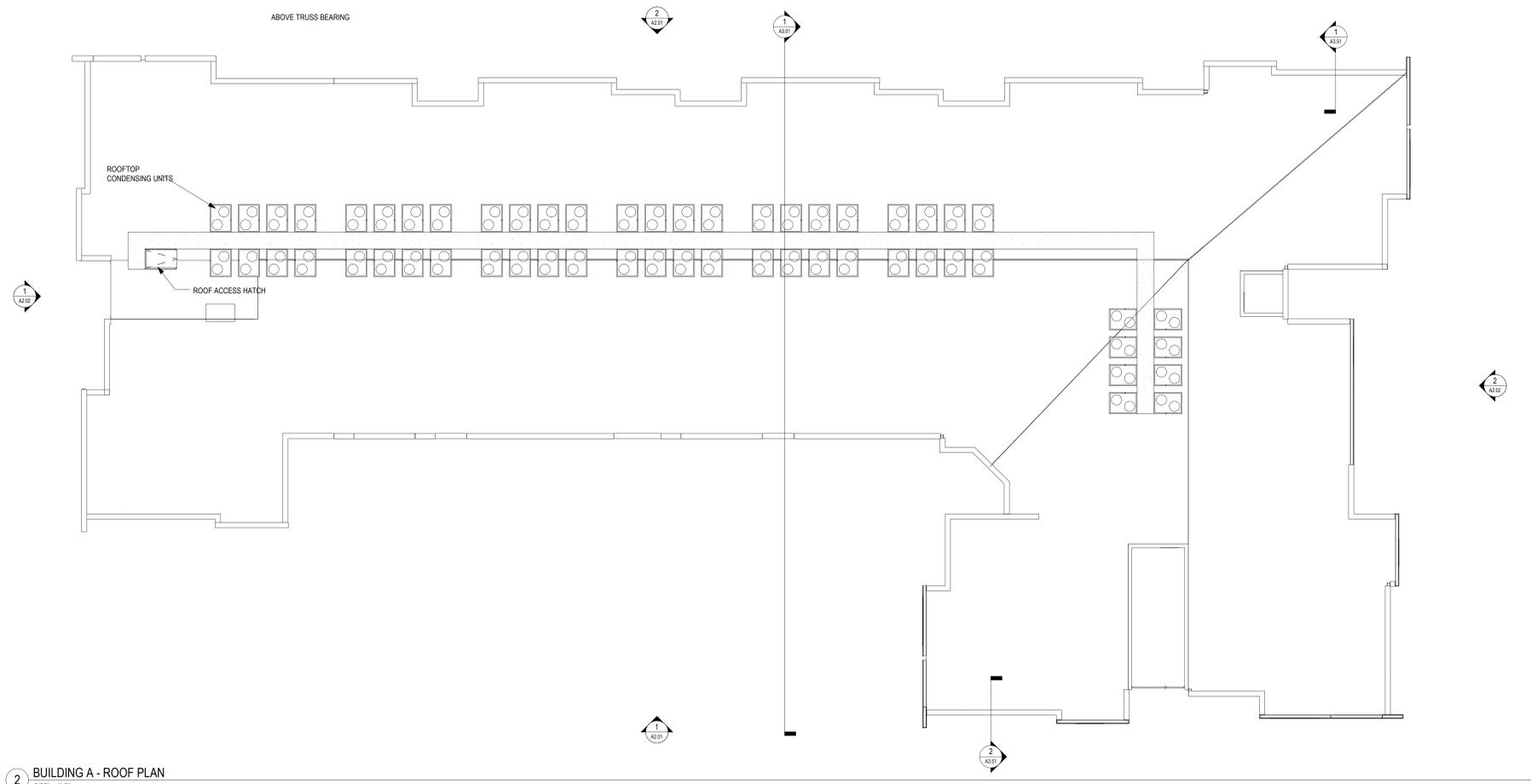
***B.2 Architectural Elevations (A2.01-A2.06)***

***B.3 Architectural/Site/Amenity Renderings***

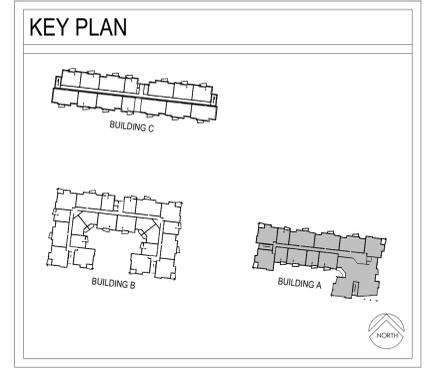
***B.4 Concept Landscaping Plan***

*\*All footprints, floor plans, and renderings are conceptual and subject to change, for informational purposes only.*





2 BUILDING A - ROOF PLAN  
3/32" = 1'-0"



ISSUE DATE: 3/23/2018

REVISIONS

3/23/2018 - SCHEMATIC DESIGN - NOT FOR CONSTRUCTION

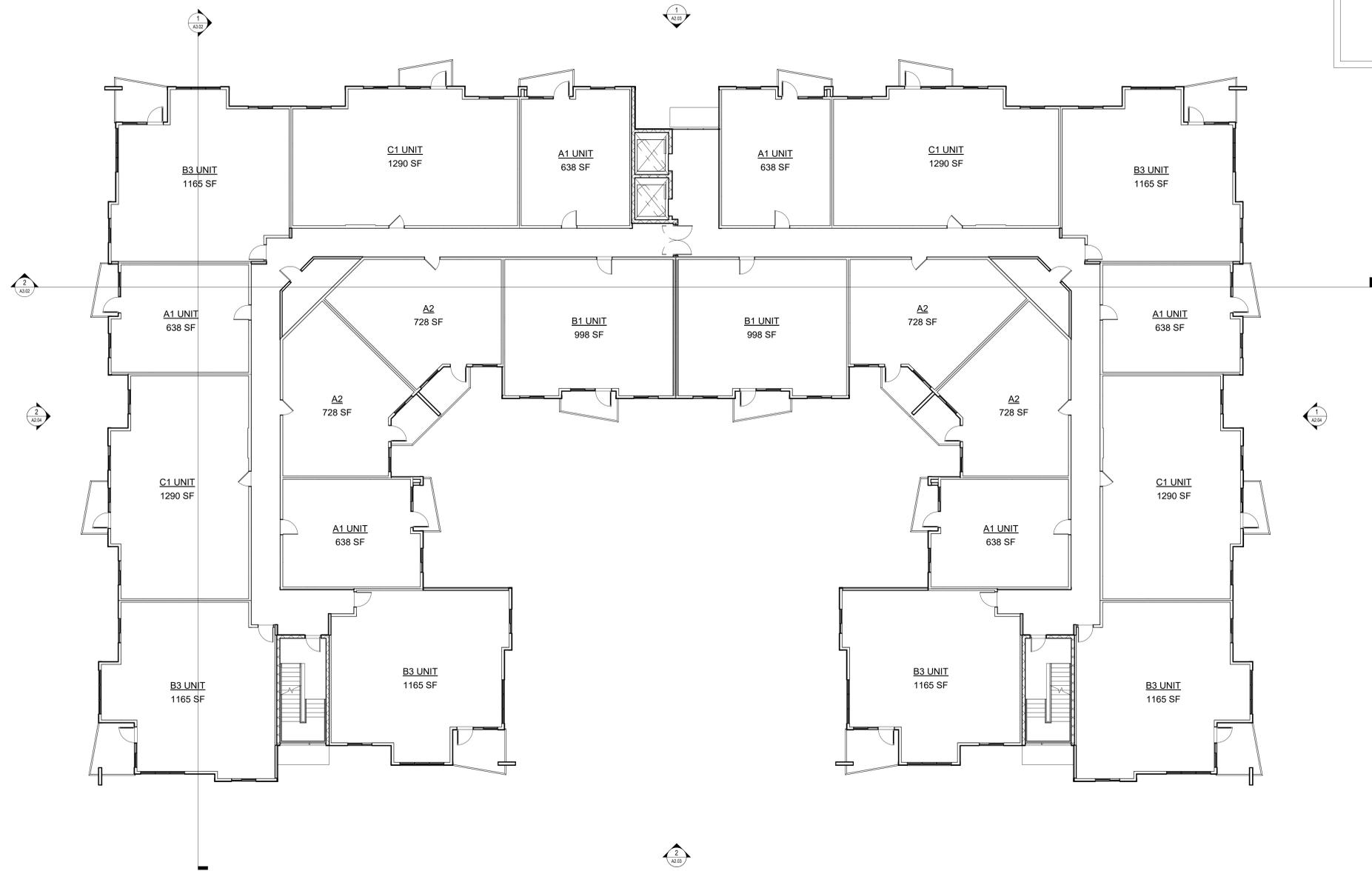
30-R SITE AT CRC



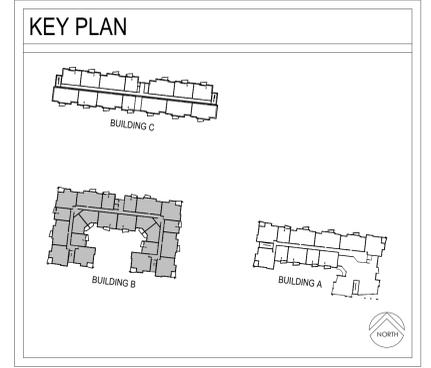
www.bsbdesign.com

JOB NO: MR170552 PROJ MGR: PM  
 DRAWN: DRW CHECKED: CHK  
 BUILDING A - PLAN - ROOF





1 BUILDING B - LEVELS 2-4  
3/32" = 1'-0"



ISSUE DATE: 3/23/2018

NO.	DESCRIPTION

1516 Camden Road, Suite 200  
Cherry Hill, NJ 08003  
704.796.2328  
www.bsbdesign.com

JOB NO: MR170552      PROJ MGR: PM  
DRAFTER: DRW      CHECKED: CHK

BUILDING B - PLAN -  
LEVELS 2-4

30-R SITE AT CRC

3/23/2018 - SCHEMATIC DESIGN - NOT FOR CONSTRUCTION



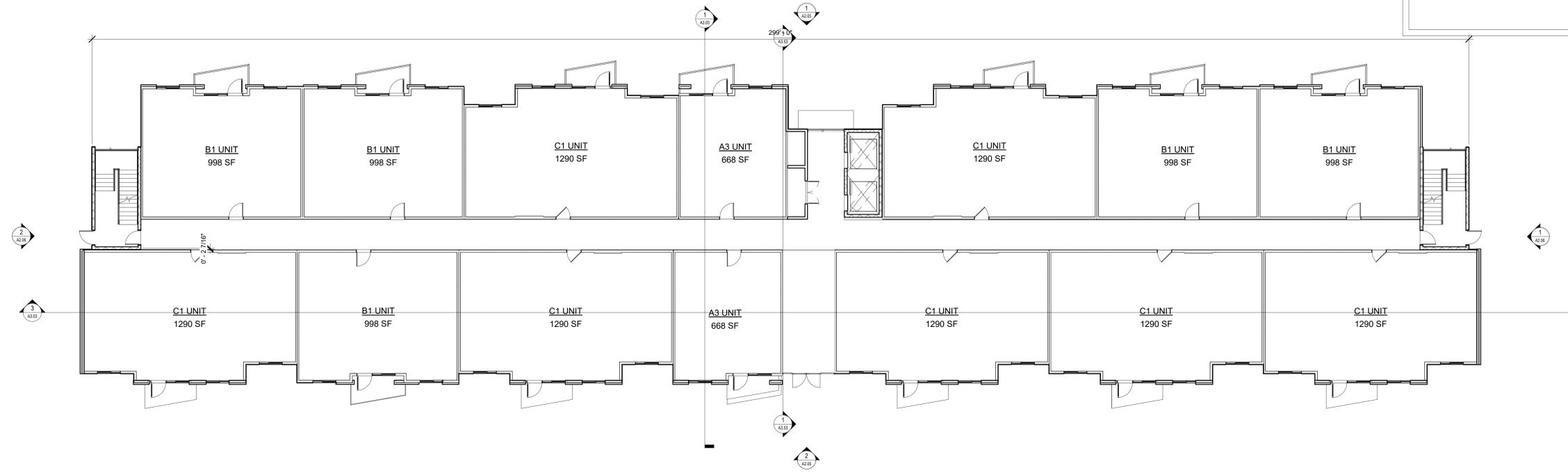
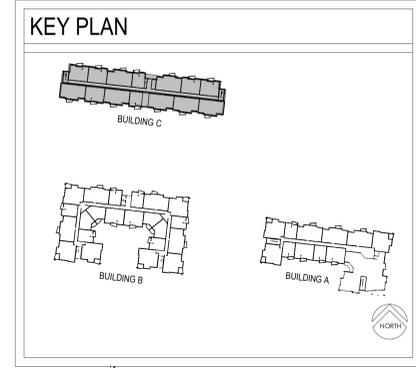
www.bsbdesign.com

JOB NO: MR170552      PROJ MGR: PM  
DRAFTER: DRW      CHECKED: CHK

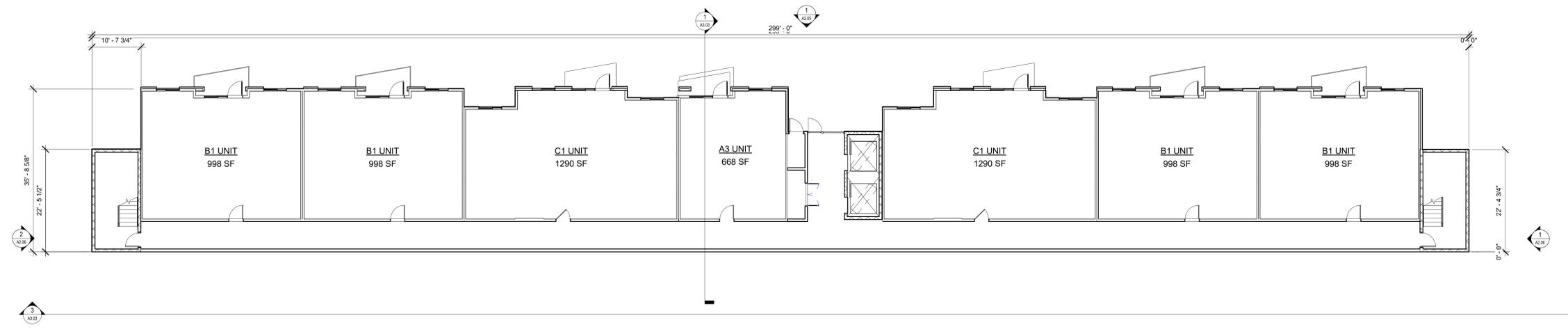
BUILDING B - PLAN -  
LEVELS 2-4

A1.04





2 BUILDING C - LEVEL 1  
3/32" = 1'-0"



1 BUILDING C - BASEMENT  
3/32" = 1'-0"

ISSUE DATE: 3/23/2018

NO.	DESCRIPTION

30-R SITE AT CRC

3/23/2018 - SCHEMATIC DESIGN - NOT FOR CONSTRUCTION



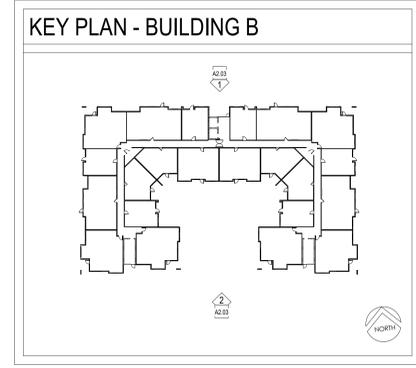
www.bsbdesign.com  
1616 Camden Road, Suite 200  
Chapel Hill, NC 27514  
704.796.2328

JOB NO: MR170552 PROJ MGR: PM  
3/23/2018: CHM CHECKED: CHM  
BUILDING C - PLAN -  
BASEMENT AND LVL 1









ISSUE DATE: 3/23/2018

NO.	DESCRIPTION



2 BUILDING B - SOUTH ELEVATION  
3/32" = 1'-0"



1 BUILDING B - NORTH ELEVATION  
3/32" = 1'-0"

30-R SITE AT CRC

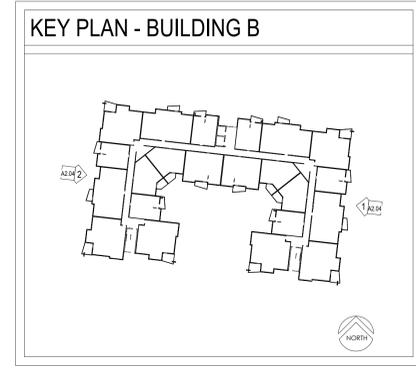
3/23/2018 - SCHEMATIC DESIGN - NOT FOR CONSTRUCTION



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1616 Camden Road, Suite 200  
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JOB NO: MR170552 PROJ MGR: PM  
DRAWN: DRW CHECKED: CHK  
BUILDING B - ELEVATIONS

A2.03



ISSUE DATE: 3/23/2018

NO.	DESCRIPTION



2 BUILDING B - WEST ELEVATION  
3/32" = 1'-0"



1 BUILDING B - EAST ELEVATION  
3/32" = 1'-0"

3/23/2018 - SCHEMATIC DESIGN - NOT FOR CONSTRUCTION

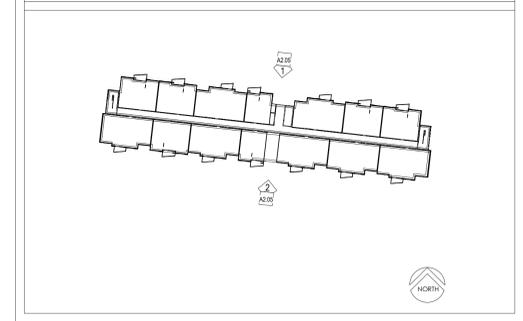
30-R SITE AT CRC



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JOB NO: MR170552 PROJ MGR: PM  
DRAWN: DRW CHECKED: CHK  
BUILDING B - ELEVATIONS

KEY PLAN - BUILDING C



ISSUE DATE: 3/23/2018

NO.	REVISIONS

1516 Garden Road, Suite 200  
 Charlotte, North Carolina 28203  
 704.786.2328  
 www.bsbdesign.com



2 BUILDING C - SOUTH ELEVATION  
3/32" = 1'-0"

STOREFRONT



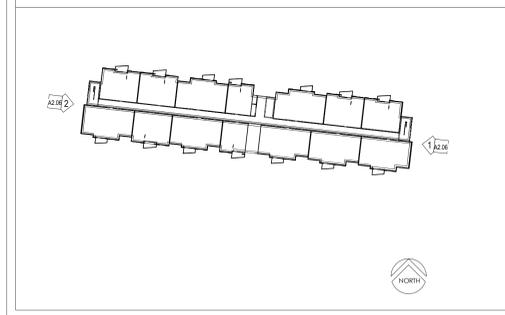
1 BUILDING C - NORTH ELEVATION  
3/32" = 1'-0"

BRICK

CANOPY



KEY PLAN - BUILDING C

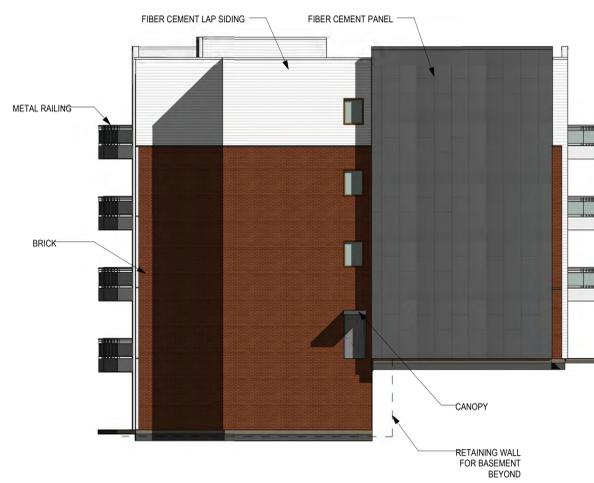


ISSUE DATE: 3/23/2018

REVISIONS

NO.	DESCRIPTION

100% FOR PERMITTING AND CONSTRUCTION  
 90% FOR PERMITTING AND CONSTRUCTION  
 75% FOR PERMITTING AND CONSTRUCTION  
 50% FOR PERMITTING AND CONSTRUCTION



2 BUILDING C - WEST ELEVATION  
 3/32" = 1'-0"



1 BUILDING C - EAST ELEVATION  
 3/32" = 1'-0"

3/23/2018 - SCHEMATIC DESIGN - NOT FOR CONSTRUCTION

30-R SITE AT CRC



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 Charlotte, North Carolina 28203  
 704.786.2329

JOB NO: MR170552 PROJ MGR: PM  
 DESIGN: DRW CHECKED: CHK  
 BUILDING C - ELEVATIONS



HANGOUT  
SPACE

PLANT  
WALL

LEASING AGENT

CORRIDOR TO  
RESIDENT ENTRY

SYNERGY  
PODS

**CMG LEASING**

**POV FROM MAIN ENTRY**

**OLVER AMENITY INTERIOR**

BLACKSBURG, VA

*The drawings presented are illustrative of character and design intent only, and are subject to change based upon final design considerations (i.e. applicable codes, structural, and MEP design requirements, unit plan / floor plan changes, etc.) © 2017 BSB Design, Inc.*

May 10, 2018|MR170552





COLLAB

SYNERGY  
PODS

MAIN  
ENTRY

FITNESS

LEASING  
AGENT

**CMG LEASING**

**POV FROM RESIDENT ENTRY**

**OLVER AMENITY INTERIOR**  
BLACKSBURG, VA

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May 10, 2018|MR170552





SYNERGY  
PODS

COLLAB

MAIN ENTRY

HANGOUT  
SPACE

PLANT WALL

**CMG LEASING**

**POV FROM LEASING**

**OLVER AMENITY INTERIOR**

BLACKSBURG, VA

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CORRIDOR TO LEASING

DIMENSIONAL WALL

MIRROR

TRUSS

**CMG LEASING**

**FITNESS**

**OLVER AMENITY INTERIOR**

BLACKSBURG, VA

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May 10, 2018|MR170552







**PLANT SCHEDULE**

TREES	CODE	BOTANICAL NAME	COMMON NAME	SIZE	QTY	REMARKS
	AC	Acer rubrum 'Columnare'	Columnar Red Maple	2.5" Cal.	29	314 Sq.Ft.
	CF	Cercis canadensis 'Forest Pansy'™	Forest Pansy Redbud	8' Ht.	27	201 Sq. Ft.
	PS	Pinus strobus	White Pine	2.5" Cal.	13	177 Sq. Ft.
	PK	Prunus serrulata 'Kwanzan'	Flowering Cherry	8' Ht.	18	177 Sq. Ft.
	QR	Quercus rubra	Red Oak	2.5" Cal.	7	254 Sq. Ft.
	TL	Tilia americana	American Linden	2.5" Cal.	27	314 Sq. Ft.
	ZV	Zelkova serrata 'Village Green'	Sawleaf Zelkova	2.5" Cal.	16	177 Sq. Ft.

**NOTES:**

- SEE SHEET L1.1 - L1.5 FOR KEYED PLANT SPECIES AND LOCATIONS.
- CONTRACTOR TO VERIFY PLANT TOTALS. IF THERE IS A CONFLICT IN PLANT TOTALS BETWEEN QUANTITIES SHOWN IN THE PLANT LEGEND AND THOSE INDICATED ON THE PLANS, THE PLANT LEGEND QUANTITIES AND SUMMARY QUANTITIES SHALL TAKE PRECEDENCE.
- SEE CIVIL ENGINEERING DRAWINGS FOR LOCATIONS OF SITE DEVELOPMENT ELEMENTS, UTILITIES, HARDSCAPE, TREE WELLS FOR STREET TREES, AND/OR OTHER REQUIRED AREAS AND EASEMENTS.
- THE CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION OF ALL UNDERGROUND UTILITIES. THE LOCATION OF ALL EXISTING UTILITIES ARE NOT NECESSARILY SHOWN ON THE PLANS, AND WHERE SHOWN ARE APPROXIMATE. THE CONTRACTOR SHALL ON HIS OWN INITIATIVE AND AT NO ADDITIONAL COST TO THE OWNER, HAVE LOCATED ALL UNDERGROUND LINES AND STRUCTURES. NO CLAIMS FOR DAMAGES OR EXTRA COMPENSATION SHALL ACCRUE TO THE CONTRACTOR FROM THE PRESENCE OF SUCH PIPE, OTHER OBSTRUCTIONS, OR FROM ANY DELAY DUE TO REMOVAL OR REARRANGEMENT OF SAME. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGES TO UNDERGROUND STRUCTURES. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING ALL NON-SUBSCRIBING UTILITIES.
- THE LANDSCAPE CONTRACTOR SHALL PERFORM FINISH GRADING TO ENSURE A SMOOTH TRANSITION BETWEEN PLANT BEDS AND PAVED AREAS.
- NO SUBSTITUTION OF PLANT MATERIAL WILL BE PERMITTED UNLESS EVIDENCE IS SUBMITTED IN WRITING TO THE ARCHITECT THAT A SPECIFIED PLANT CANNOT BE OBTAINED ALONG WITH PROPOSAL FOR EQUIVALENT MATERIAL FOR SUBSTITUTION. IF SUBSTITUTION IS PERMITTED, IT CAN BE MADE ONLY WITH WRITTEN APPROVAL BY THE ARCHITECT.

**TOWN OF BLACKSBURG LANDSCAPE REQUIREMENTS:**

**NOTE:** THE APPROVED LANDSCAPE PLAN SHALL BE USED FOR THE FINAL PLANT QUANTITY, SPECIES, AND LAYOUT OF THE PROPOSED DEVELOPMENT. ANY CHANGES TO THE PLAN, INCLUDING SPECIES SUBSTITUTION, LOCATION, OR QUANTITY CHANGES MUST BE SUBMITTED TO THE TOWN FOR REVIEW AND APPROVAL. ANY CHANGES MUST BE SUBMITTED ON A FULL SHEET FOR SIGNATURES, OR A RECORD DRAWING/AS-BUILT PLAN SHOWING APPROVED CHANGES MUST BE FURNISHED FOR SIGNATURES.

**TREE CANOPY**

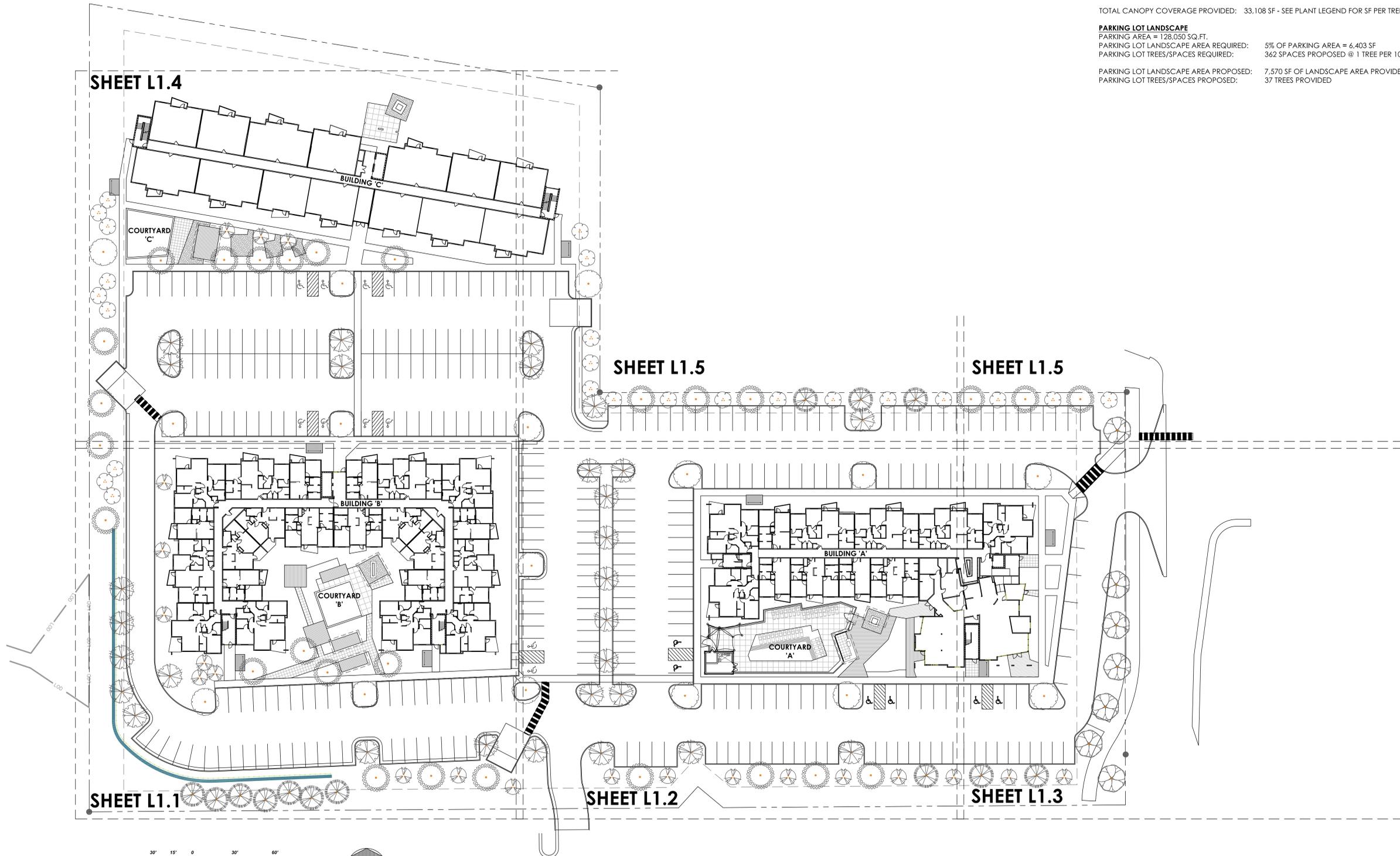
TOTAL SITE AREA DISTURBED = 320,467 SQ. FT.  
 REQUIRED CANOPY COVERAGE: 32,047 SF (10% OF DISTURBED AREA)

TOTAL CANOPY COVERAGE PROVIDED: 33,108 SF - SEE PLANT LEGEND FOR SF PER TREE

**PARKING LOT LANDSCAPE**

PARKING AREA = 128,050 SQ. FT.  
 PARKING LOT LANDSCAPE AREA REQUIRED: 5% OF PARKING AREA = 6,403 SF  
 362 SPACES PROPOSED @ 1 TREE PER 10 SPACES = 37 TREES REQUIRED

PARKING LOT LANDSCAPE AREA PROPOSED: 7,570 SF OF LANDSCAPE AREA PROVIDED  
 PARKING LOT TREES/SPACES PROPOSED: 37 TREES PROVIDED



**SHEET L1.4**

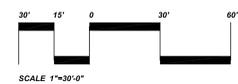
**SHEET L1.5**

**SHEET L1.5**

**SHEET L1.1**

**SHEET L1.2**

**SHEET L1.3**



ISSUE DATE: 04/15/2018



**Gary R. Fankhauser**  
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 Landscape Architecture  
 PO Box 704  
 Cornelius, NC 28031  
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 gary@viz.design  
 www.viz.design

05/18/2018 - DESIGN DEVELOPMENT - NOT FOR CONSTRUCTION



JOB NO: MR170502  
 DRAWN: DRW  
 PROJ MGR: PM  
 CHECKED: CMK

**OVERALL PLANTING KEY PLAN**

**L1.0**

## Appendix C (Conceptual Master Plan)

***C.1 Conceptual Site Master Plan***

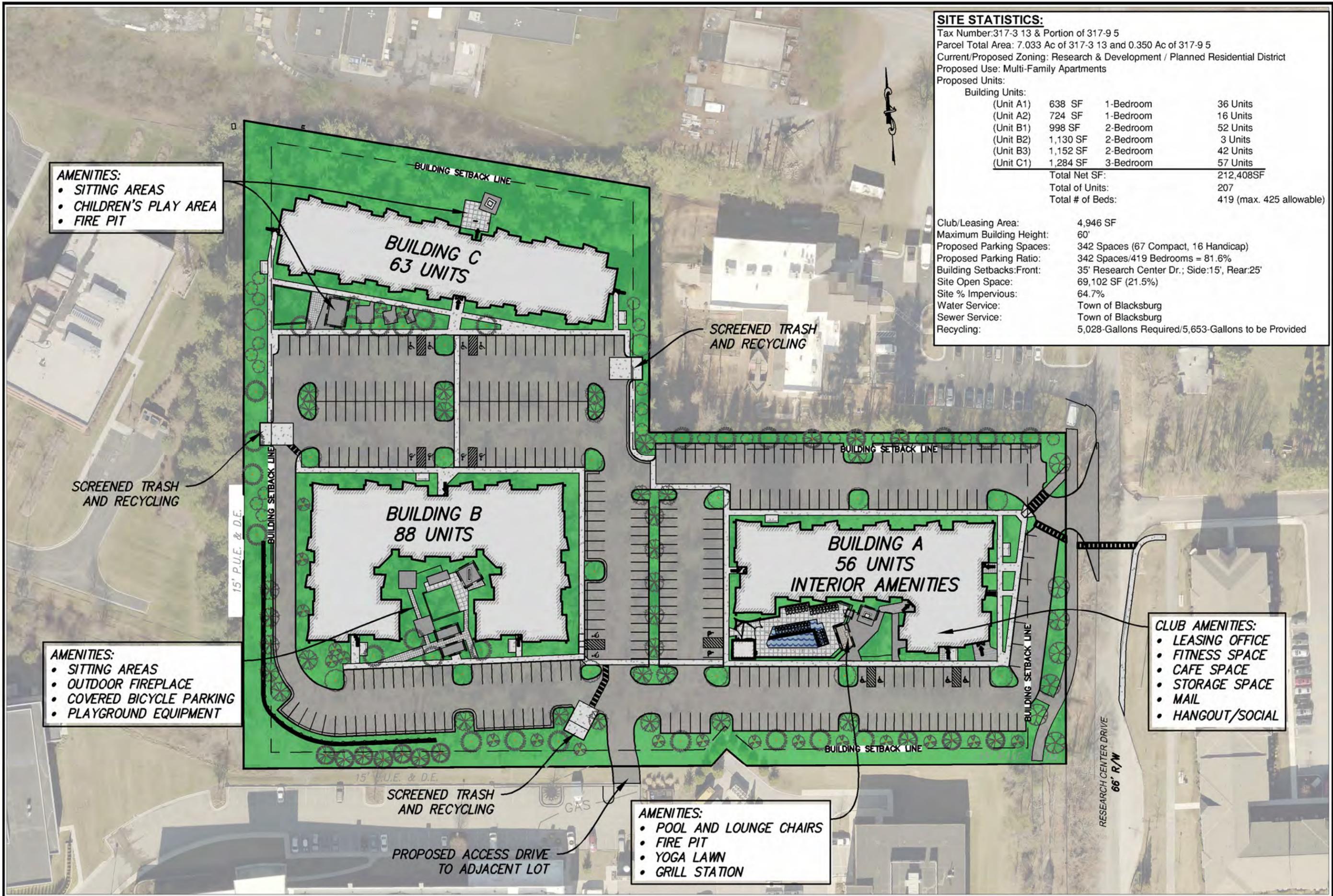
***C.2 Conceptual Open Space Plan***

***C.3 Internal Connectivity Plan***

***C.4 Bike/Multi-Purpose Plan***

***C.5 Concept Utility Plan***

***C.6 Existing Slopes Exhibit***



- AMENITIES:**
- SITTING AREAS
  - CHILDREN'S PLAY AREA
  - FIRE PIT

- AMENITIES:**
- SITTING AREAS
  - OUTDOOR FIREPLACE
  - COVERED BICYCLE PARKING
  - PLAYGROUND EQUIPMENT

- AMENITIES:**
- POOL AND LOUNGE CHAIRS
  - FIRE PIT
  - YOGA LAWN
  - GRILL STATION

- CLUB AMENITIES:**
- LEASING OFFICE
  - FITNESS SPACE
  - CAFE SPACE
  - STORAGE SPACE
  - MAIL
  - HANGOUT/SOCIAL

**SITE STATISTICS:**

Tax Number: 317-3 13 & Portion of 317-9 5  
 Parcel Total Area: 7.033 Ac of 317-3 13 and 0.350 Ac of 317-9 5  
 Current/Proposed Zoning: Research & Development / Planned Residential District  
 Proposed Use: Multi-Family Apartments  
 Proposed Units:

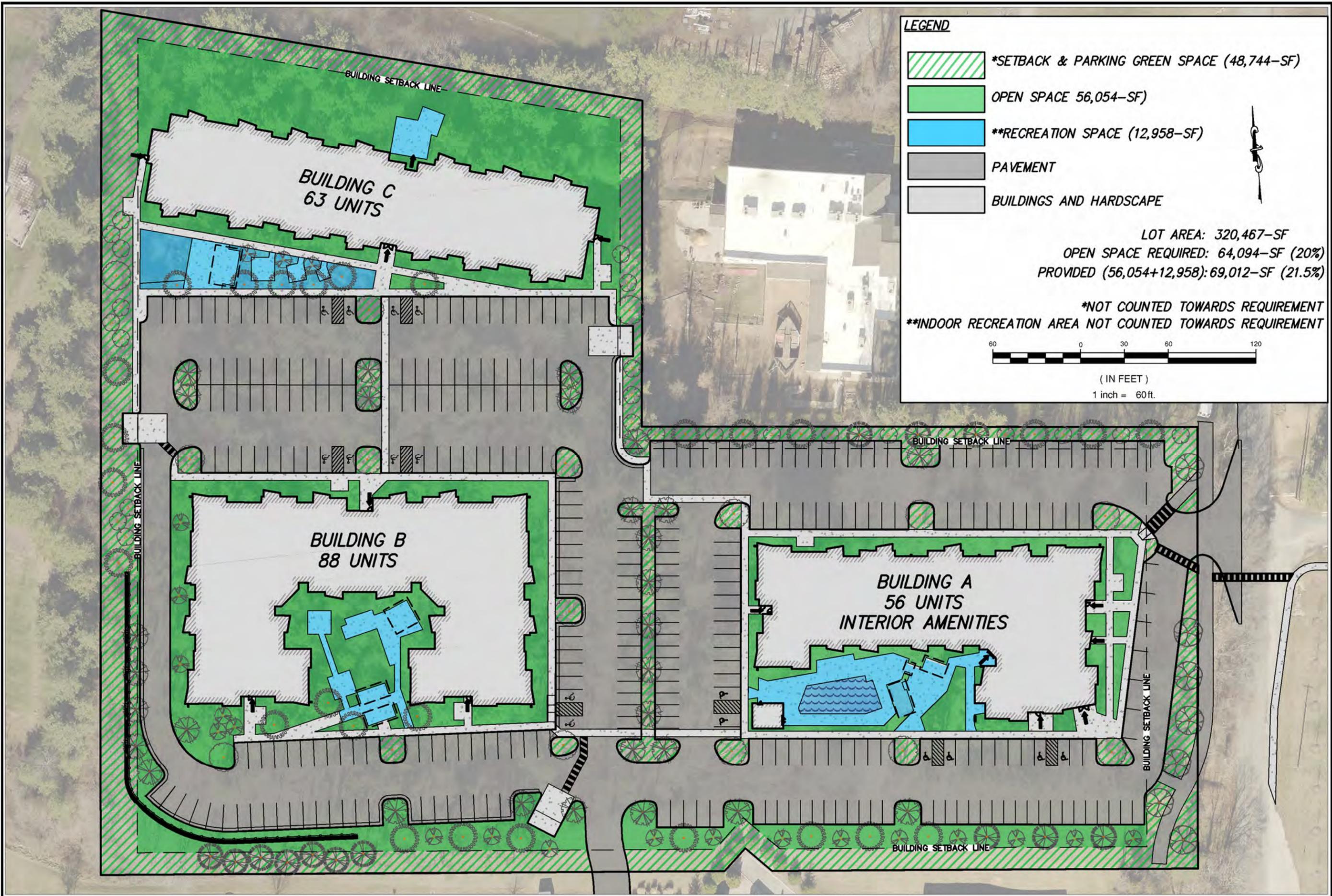
Building Units:			
(Unit A1)	638 SF	1-Bedroom	36 Units
(Unit A2)	724 SF	1-Bedroom	16 Units
(Unit B1)	998 SF	2-Bedroom	52 Units
(Unit B2)	1,130 SF	2-Bedroom	3 Units
(Unit B3)	1,152 SF	2-Bedroom	42 Units
(Unit C1)	1,284 SF	3-Bedroom	57 Units
Total Net SF:			212,408SF
Total of Units:			207
Total # of Beds:			419 (max. 425 allowable)

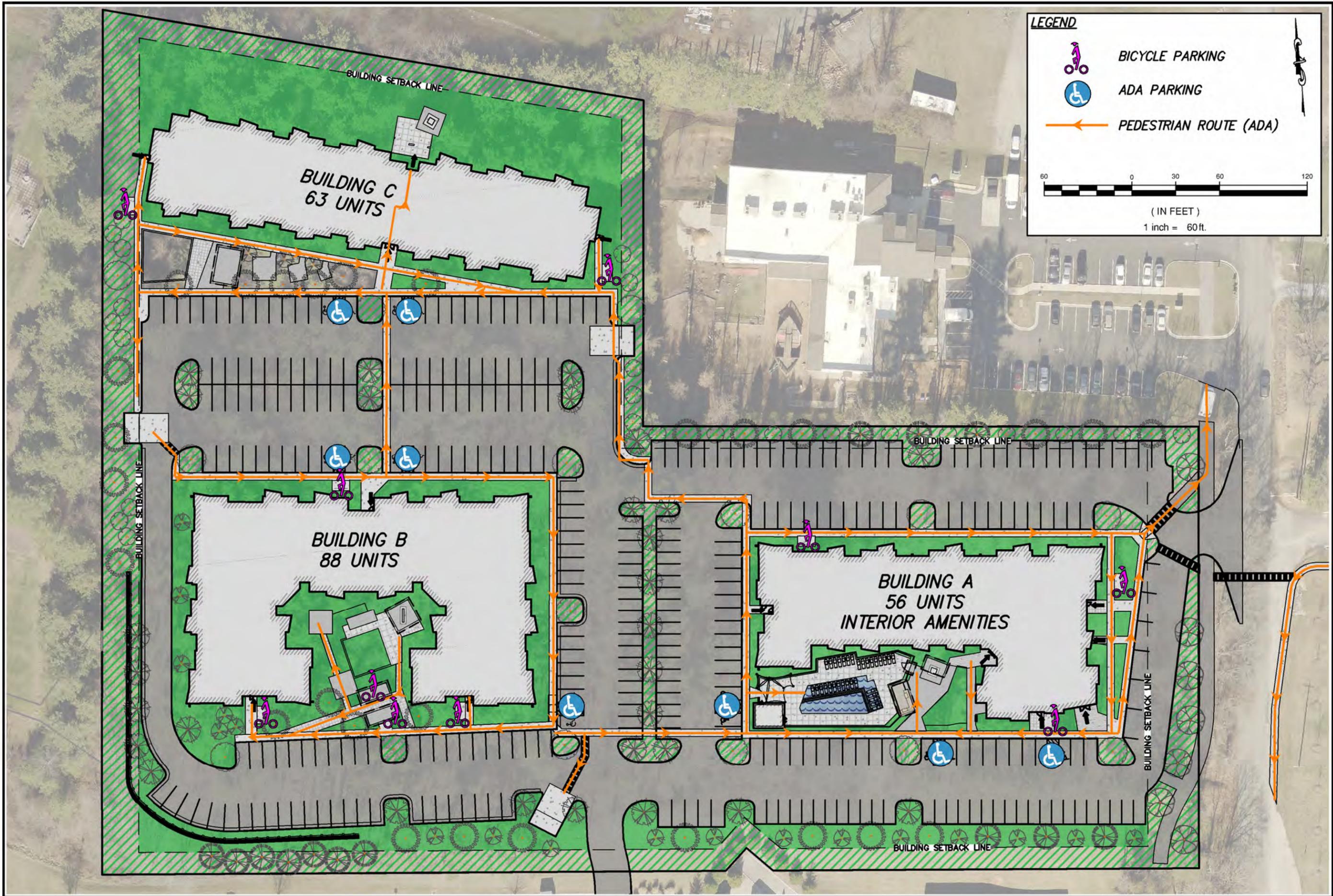
Club/Leasing Area: 4,946 SF  
 Maximum Building Height: 60'  
 Proposed Parking Spaces: 342 Spaces (67 Compact, 16 Handicap)  
 Proposed Parking Ratio: 342 Spaces/419 Bedrooms = 81.6%  
 Building Setbacks: Front: 35' Research Center Dr.; Side: 15'; Rear: 25'  
 Site Open Space: 69,102 SF (21.5%)  
 Site % Impervious: 64.7%  
 Water Service: Town of Blacksburg  
 Sewer Service: Town of Blacksburg  
 Recycling: 5,028-Gallons Required/5,653-Gallons to be Provided

2122 Carolina Avenue, S.W.  
 Roanoke, Virginia 24014  
**parker**  
 Phone: 540-387-1153  
 Fax: 540-389-5767  
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**CONCEPTUAL SITE MASTER PLAN**  
**30-R AT CRC**  
**RZN 18-003**  
**TOWN OF BLACKSBURG, VA**

SCALE: 1" = 80'  
 PROJECT NO. 17-0117  
 DATE: MAY 29, 2018



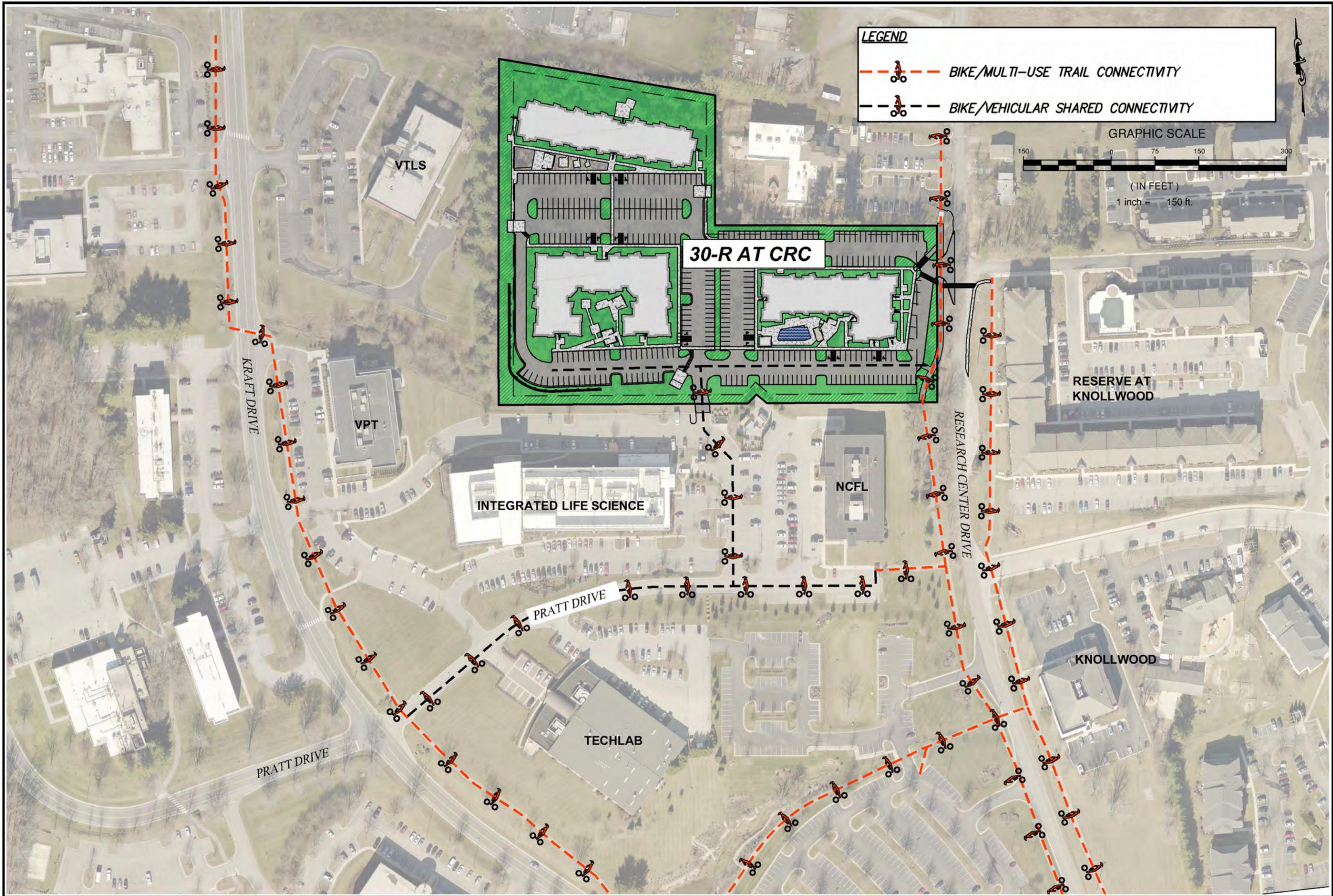


2122 Carolina Avenue, S.W.  
Roanoke, Virginia 24014



**SITE CONNECTIVITY EXHIBIT**  
**30-R AT CRC**  
**RZN 18-003**  
**TOWN OF BLACKSBURG, VA**

SCALE: 1" = 60'  
PROJECT NO. 17-0117  
DATE: MAY 29, 2018



2122 Carolina Avenue, S.W.  
 Roanoke, Virginia 24014

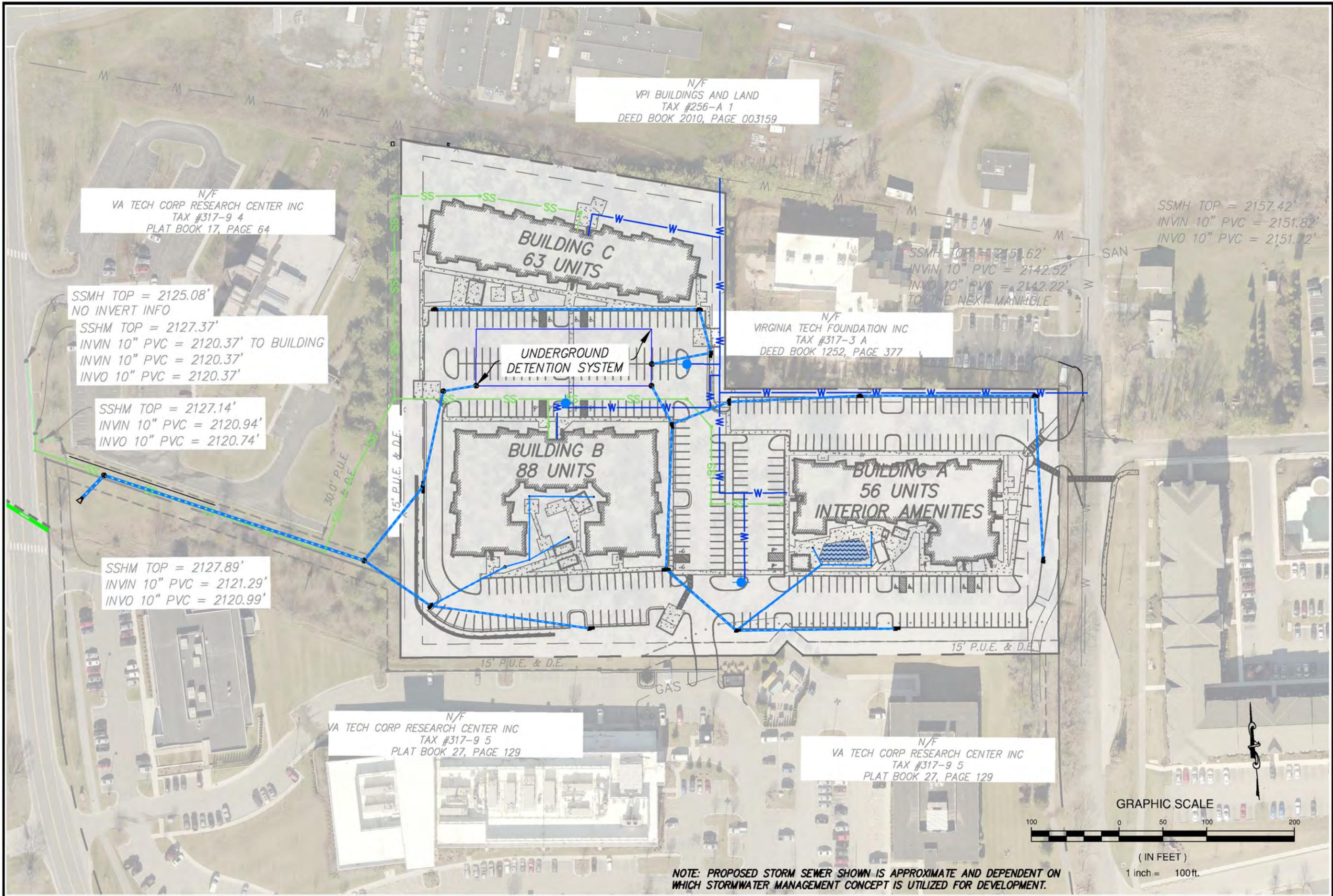


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 Fax: 540-389-5767  
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**BIKE/MULTI-USE CONNECTIVITY EXHIBIT**  
**30-R AT CRC**  
**RZN 18-003**  
**TOWN OF BLACKSBURG, VA**

SCALE: 1" = 150'  
 PROJECT NO. 17-0117  
 DATE: MAY 29, 2018



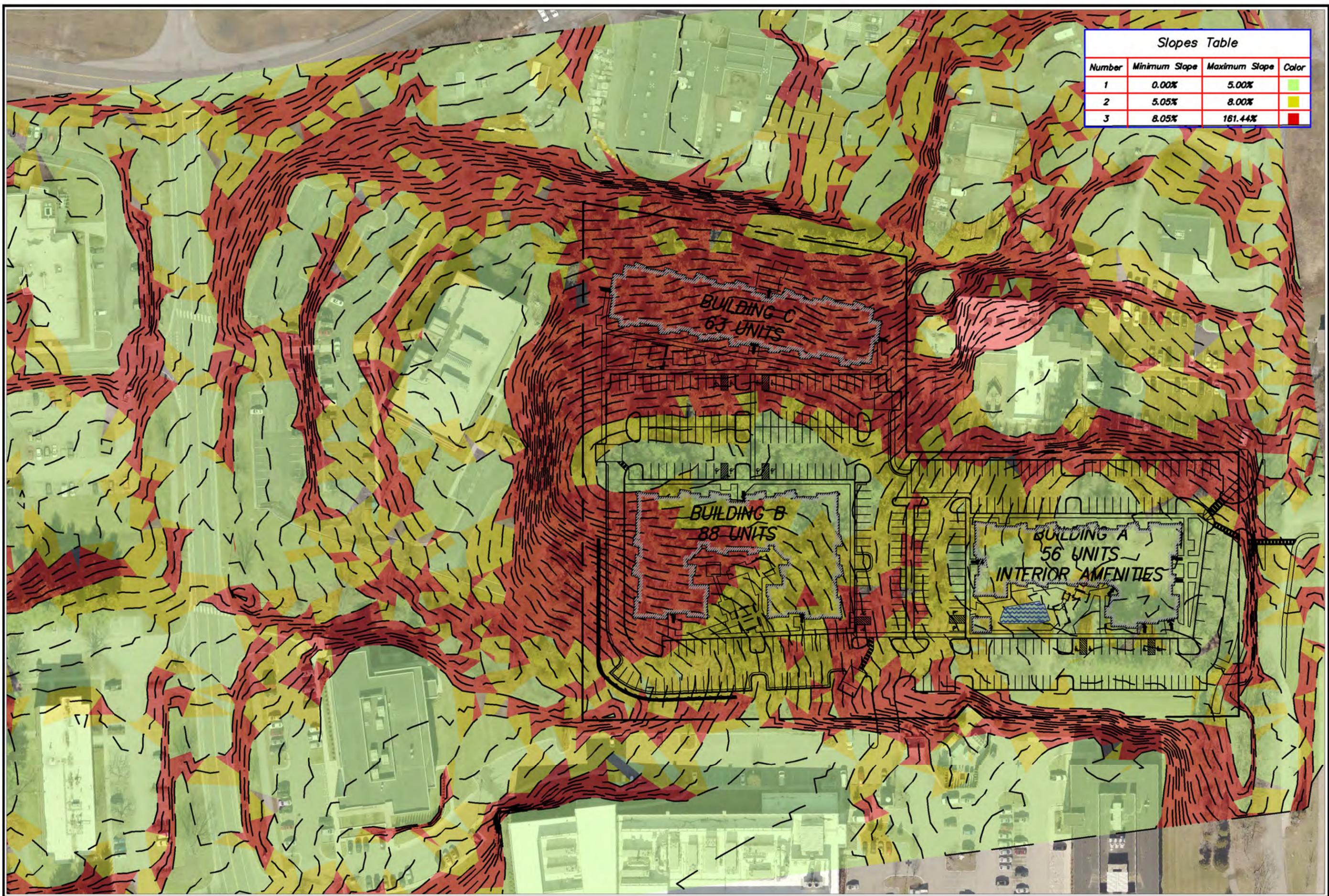
2122 Carolina Avenue, S.W.  
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Phone: 540-387-1153  
Fax: 540-389-5767

**CONCEPT UTILITY PLAN  
30-R AT CRC  
RZN 18-003  
TOWN OF BLACKSBURG, VA**

SCALE: 1" = 100'  
PROJECT NO. 17-0117  
DATE: MAY 29, 2018



Slopes Table			
Number	Minimum Slope	Maximum Slope	Color
1	0.00%	5.00%	Light Green
2	5.05%	8.00%	Yellow
3	8.05%	161.44%	Red

SCALE: 1" = 100'  
 PROJECT NO. 17-0117  
 DATE: MAY 29, 2018

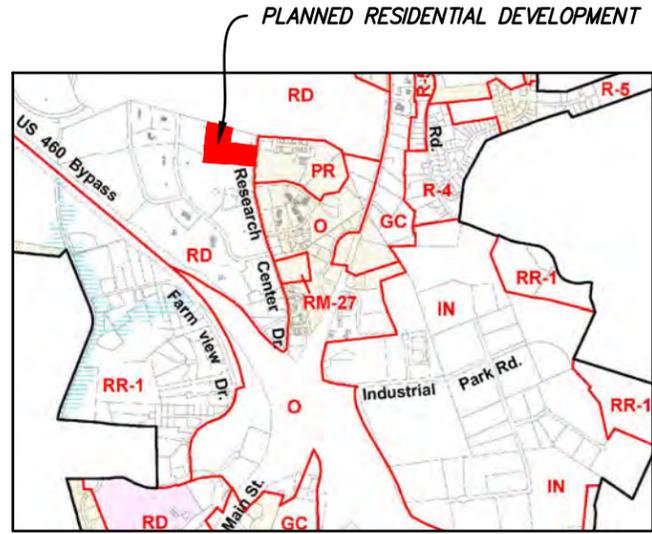
**EXISTING SLOPES EXHIBIT**  
**30-R AT CRC**  
**RZN 18-003**  
**TOWN OF BLACKSBURG, VA**



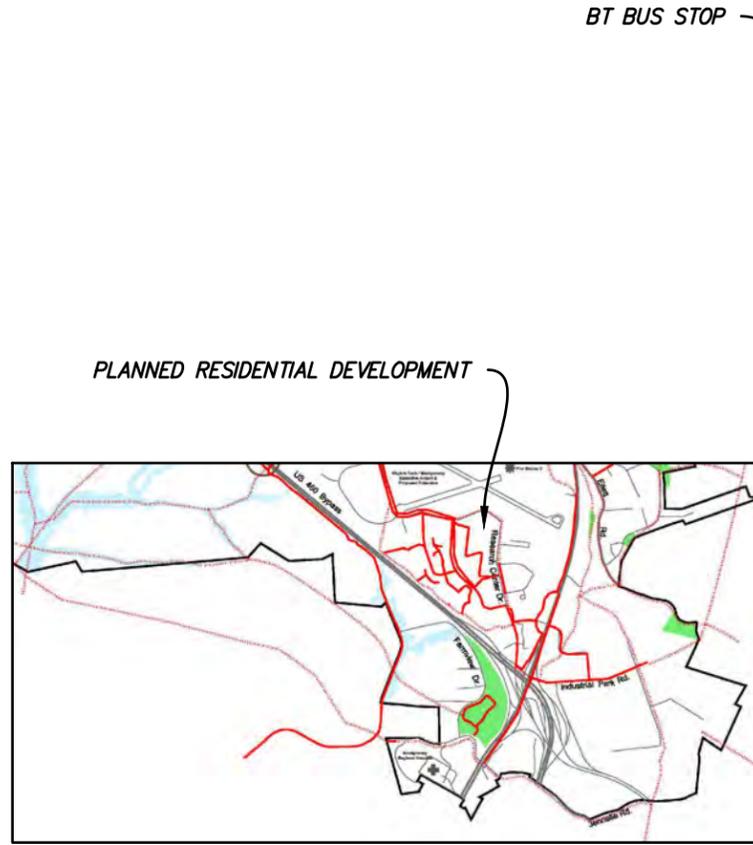
2122 Carolina Avenue, S.W.  
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# Appendix D (Supporting Documents)

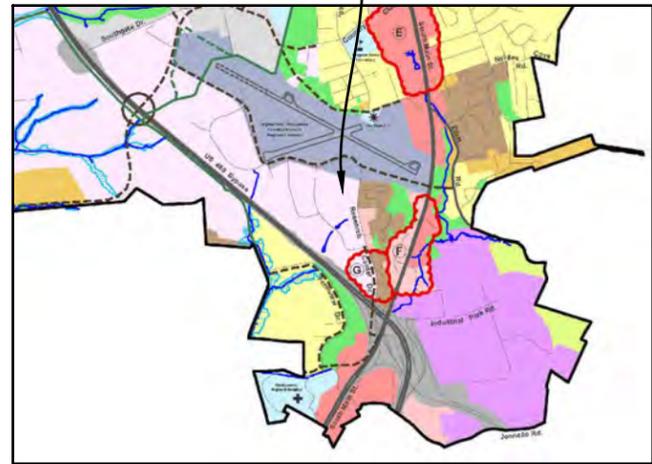
## *D.1 Supporting Mapping*



CURRENT ZONING DISTRICT MAP  
(NOT TO SCALE)



PATHS TO THE FUTURE MAP  
(NOT TO SCALE)



FUTURE LAND USE MAP  
(NOT TO SCALE)



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SURROUNDING BLACKSBURG TRANSIT STOPS  
(SCALE: 1"=200')



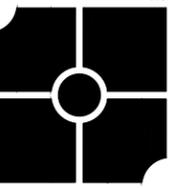
SCALE: 1"=200'

PROJECT NO. 17-0117

DATE: 03/30/2018

APPENDIX D.1

30-R at CRC Residential Development  
Re-Zoning Application  
Supporting Mapping  
Town of Blacksburg, VA



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