

VIRGINIA TECH FOUNDATION GILBERT STREET MIXED-USE

BLACKSBURG, VA



APPLICATION FOR:

**CHANGE OF ZONING CLASSIFICATION
CONDITIONAL USE PERMIT FOR HEIGHT INCREASE
RIGHT OF WAY VACATION
AMENDMENT TO SPECIAL SIGNAGE DISTRICT**

AUGUST 1, 2019 (For Record NOVEMBER 15, 2019)

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BUILDING 460 VIEWS	
PLANNING COMMISSION PRESENTATION NOVEMBER 5, 2019	

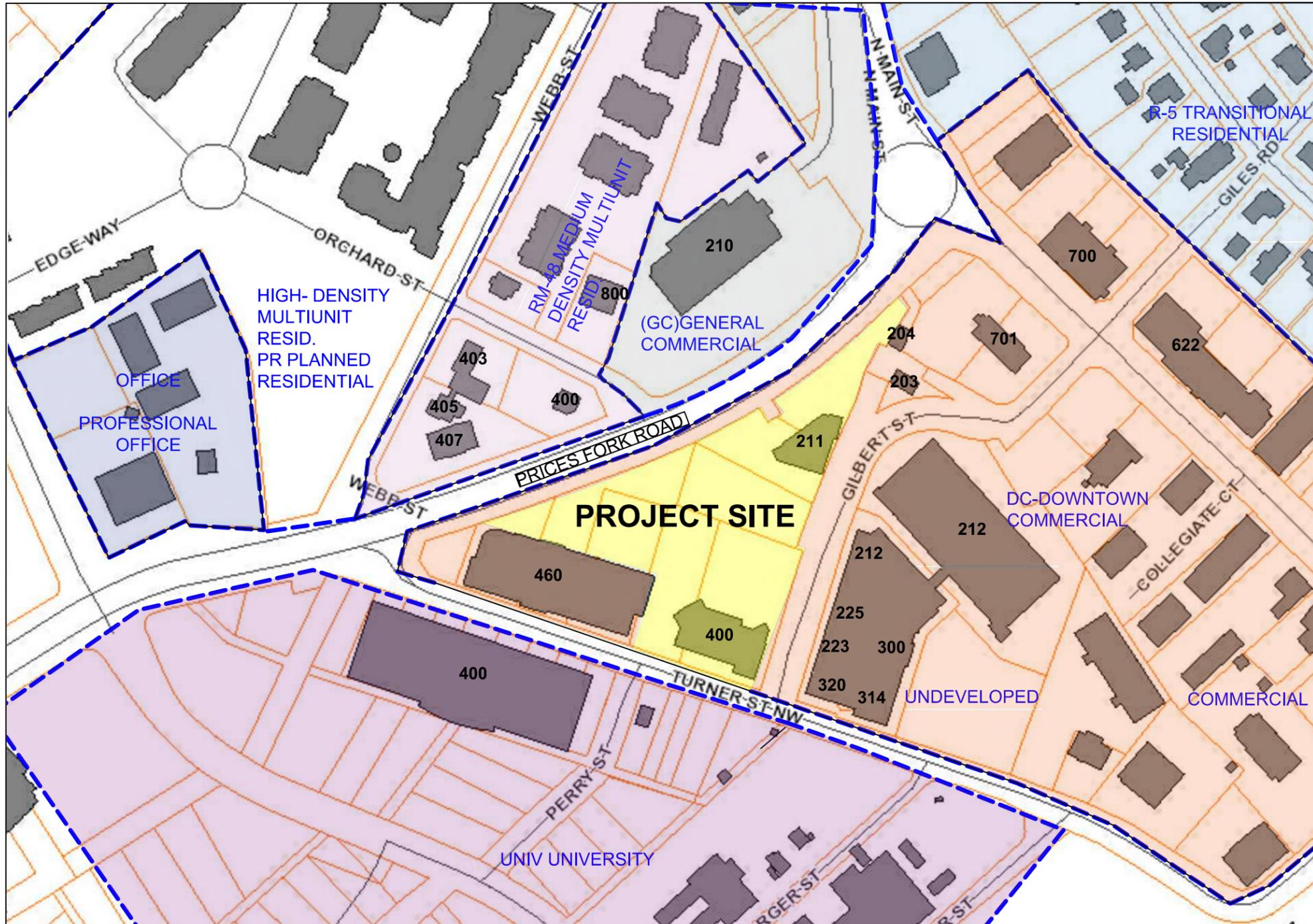
VIRGINIA TECH FOUNDATION - GILBERT STREET MIXED-USE

DRAWING NUMBER:
GZ-100

DRAWING NAME:
COVER SHEET

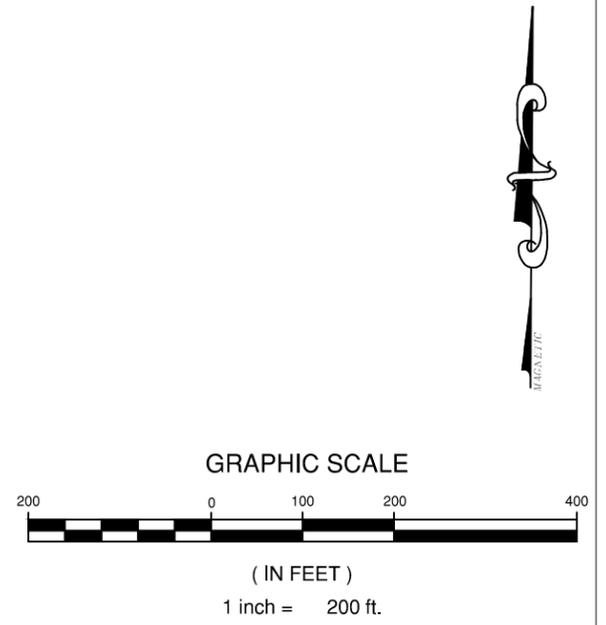


DATE:
NOV 15, 2019



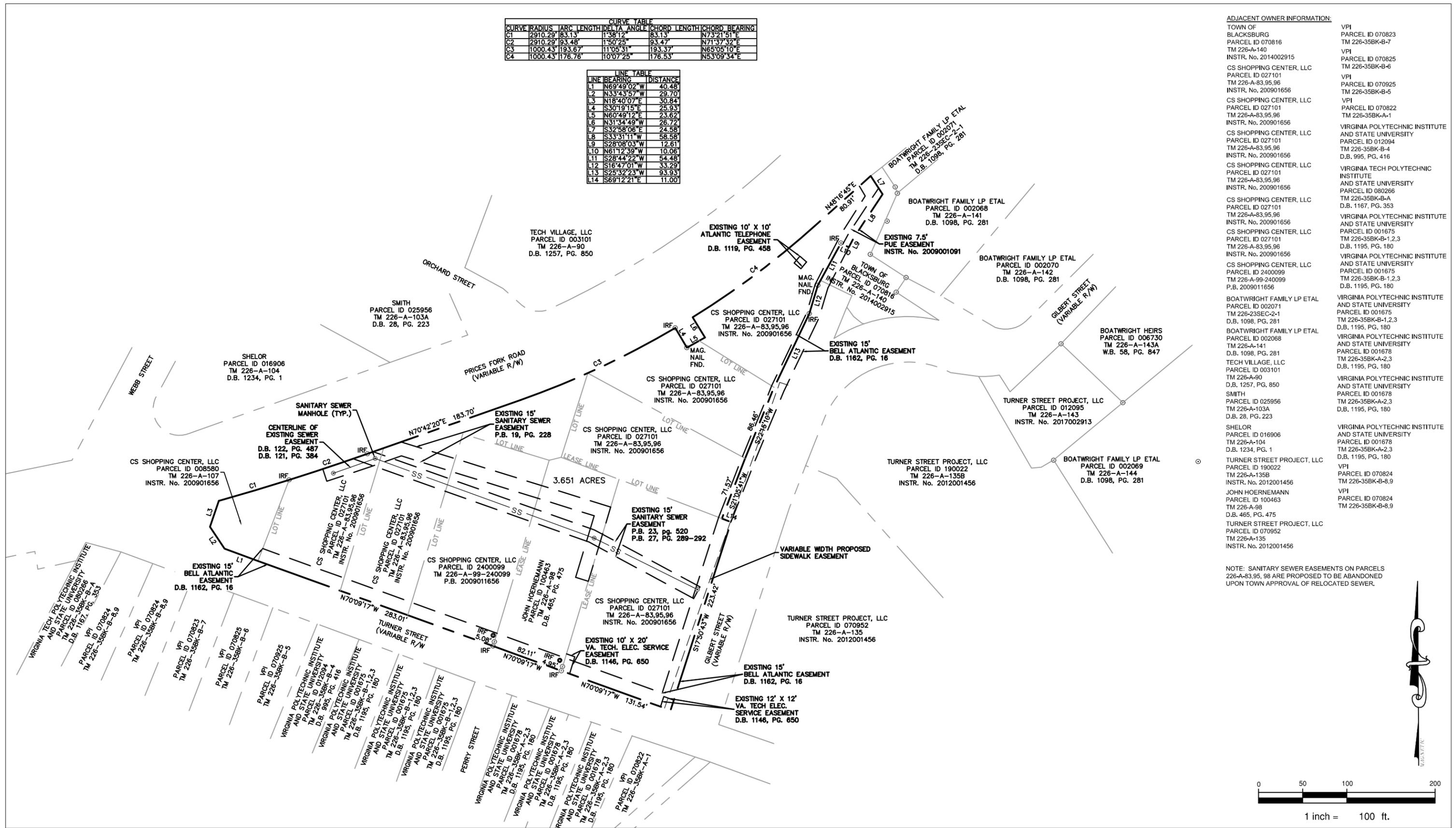
SITE SUMMARY

PARCEL ADDRESSES:	211 PRICES FORK ROAD AND 460 TURNER STREET NW BLACKSBURG, VA 24061
OWNER:	C S SHOPPING CENTER, LLC 902 PRICES FORK ROAD, SUITE 2600 BLACKSBURG, VA 24061
DEVELOPER/DESIGN BUILDER:	W.M. JORDAN COMPANY 11010 JEFFERSON AVENUE NEWPORT NEWS, VA 23601
PLAN PREPARERS:	DRAPER ADEN ASSOCIATES 2206 SOUTH MAIN STREET BLACKSBURG, VA 24060
	HANBURY 312 N. MAIN STREET BLACKSBURG, VA 24060
TAX MAP NUMBERS:	226-A-105; 226-A-102; 226-A-99; 226-A-96; 226-A-95; 226-A-83; 226-A-98; AND 226-A-97
PROPOSED BUILDING ELEVATION:	2078.5/2079 FEET
TOTAL NUMBER OF FLOORS:	FIVE WITH ROOFTOP
GROSS FLOOR AREA:	250,000 SF
BUILDING HEIGHT:	97' WITH 100'-0" ALLOWANCE
EXISTING ZONING:	DOWNTOWN COMMERCIAL (DC) WITH CONDITIONS
PROPOSED ZONING:	DOWNTOWN COMMERCIAL (DC) WITH AMENDED CONDITIONS
CURRENT USE:	RETAIL AND OFFICE SPACE
PROPOSED USE:	RESTAURANT, RETAIL AND OFFICE SPACE



CURVE TABLE					
CURVE	RADIUS	ARC LENGTH	DELTA ANGLE	CHORD LENGTH	CHORD BEARING
C1	2910.29'	83.13'	1°38'12"	83.13'	N73°21'51"E
C2	2910.29'	93.48'	1°50'25"	93.47'	N71°37'32"E
C3	1000.43'	193.67'	11°05'31"	193.37'	N65°05'10"E
C4	1000.43'	176.76'	10°07'25"	176.53'	N53°09'34"E

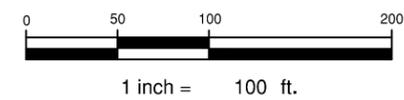
LINE TABLE		
LINE	BEARING	DISTANCE
L1	N69°49'02"W	40.48'
L2	N33°43'57"W	29.70'
L3	N18°40'07"E	30.84'
L4	S30°19'15"E	25.93'
L5	N60°49'12"E	23.62'
L6	N31°34'49"W	26.72'
L7	S32°58'06"E	24.58'
L8	S33°31'11"W	58.58'
L9	S28°08'03"W	12.61'
L10	N61°12'39"W	10.06'
L11	S28°44'22"W	54.48'
L12	S16°47'01"W	33.29'
L13	S25°32'23"W	93.93'
L14	S69°12'21"E	11.00'



ADJACENT OWNER INFORMATION:

- | | |
|--|---|
| TOWN OF BLACKSBURG
PARCEL ID 070816
TM 226-A-140
INSTR. No. 2014002915 | VPI
PARCEL ID 070823
TM 226-35BK-B-7 |
| CS SHOPPING CENTER, LLC
PARCEL ID 027101
TM 226-A-83,95,96
INSTR. No. 200901656 | VPI
PARCEL ID 070825
TM 226-35BK-B-6 |
| CS SHOPPING CENTER, LLC
PARCEL ID 027101
TM 226-A-83,95,96
INSTR. No. 200901656 | VPI
PARCEL ID 070925
TM 226-35BK-B-5 |
| CS SHOPPING CENTER, LLC
PARCEL ID 027101
TM 226-A-83,95,96
INSTR. No. 200901656 | VPI
PARCEL ID 070822
TM 226-35BK-A-1 |
| CS SHOPPING CENTER, LLC
PARCEL ID 027101
TM 226-A-83,95,96
INSTR. No. 200901656 | VIRGINIA POLYTECHNIC INSTITUTE
AND STATE UNIVERSITY
PARCEL ID 012094
TM 226-35BK-B-4
D.B. 995, PG. 416 |
| CS SHOPPING CENTER, LLC
PARCEL ID 027101
TM 226-A-83,95,96
INSTR. No. 200901656 | VIRGINIA TECH POLYTECHNIC
INSTITUTE
AND STATE UNIVERSITY
PARCEL ID 080266
TM 226-35BK-B-A
D.B. 1167, PG. 353 |
| CS SHOPPING CENTER, LLC
PARCEL ID 027101
TM 226-A-83,95,96
INSTR. No. 200901656 | VIRGINIA POLYTECHNIC INSTITUTE
AND STATE UNIVERSITY
PARCEL ID 001675
TM 226-35BK-B-1,2,3
D.B. 1195, PG. 180 |
| CS SHOPPING CENTER, LLC
PARCEL ID 027101
TM 226-A-83,95,96
INSTR. No. 200901656 | VIRGINIA POLYTECHNIC INSTITUTE
AND STATE UNIVERSITY
PARCEL ID 001675
TM 226-35BK-B-1,2,3
D.B. 1195, PG. 180 |
| BOATWRIGHT FAMILY LP ETAL
PARCEL ID 002071
TM 226-23SEC-2-1
D.B. 1098, PG. 281 | VIRGINIA POLYTECHNIC INSTITUTE
AND STATE UNIVERSITY
PARCEL ID 001675
TM 226-35BK-B-1,2,3
D.B. 1195, PG. 180 |
| BOATWRIGHT FAMILY LP ETAL
PARCEL ID 002070
TM 226-A-142
D.B. 1098, PG. 281 | VIRGINIA POLYTECHNIC INSTITUTE
AND STATE UNIVERSITY
PARCEL ID 001678
TM 226-35BK-A-2,3
D.B. 1195, PG. 180 |
| BOATWRIGHT HEIRS
PARCEL ID 006730
TM 226-A-143A
W.B. 58, PG. 847 | VIRGINIA POLYTECHNIC INSTITUTE
AND STATE UNIVERSITY
PARCEL ID 001678
TM 226-35BK-A-2,3
D.B. 1195, PG. 180 |
| TURNER STREET PROJECT, LLC
PARCEL ID 012095
TM 226-A-143
INSTR. No. 2017002913 | VIRGINIA POLYTECHNIC INSTITUTE
AND STATE UNIVERSITY
PARCEL ID 001678
TM 226-35BK-A-2,3
D.B. 1195, PG. 180 |
| TURNER STREET PROJECT, LLC
PARCEL ID 190022
TM 226-A-135B
INSTR. No. 2012001456 | VPI
PARCEL ID 070824
TM 226-35BK-B-8,9 |
| TURNER STREET PROJECT, LLC
PARCEL ID 020699
TM 226-A-144
D.B. 1098, PG. 281 | VPI
PARCEL ID 070824
TM 226-35BK-B-8,9 |

NOTE: SANITARY SEWER EASEMENTS ON PARCELS 226-A-83,95, 98 ARE PROPOSED TO BE ABANDONED UPON TOWN APPROVAL OF RELOCATED SEWER.



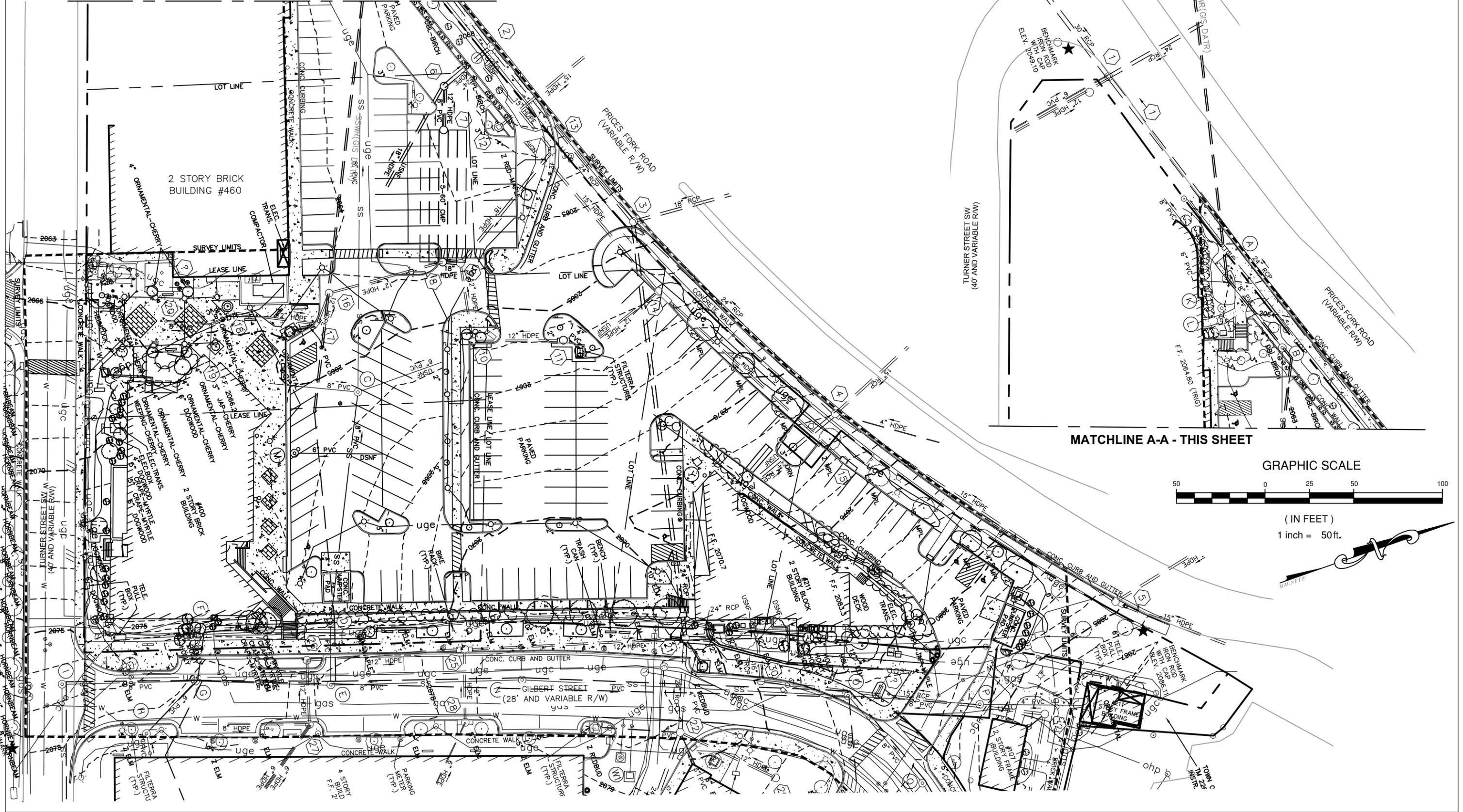
VIRGINIA TECH FOUNDATION - GILBERT STREET MIXED-USE

DRAWING NUMBER: C100
 DRAWING NAME: Boundary Survey and Adjacent Owner Information



DATE: 1 AUGUST 2019

MATCHLINE A-A - THIS SHEET

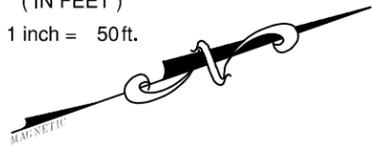


MATCHLINE A-A - THIS SHEET

GRAPHIC SCALE



(IN FEET)
1 inch = 50ft.



SANITARY STRUCTURES TABLE

STORM WATER STRUCTURES TABLE

A SANITARY MANHOLE TOP 2052.99 8" INV. IN 2048.15 NE 6" INV. IN 2046.78 NE 8" INV. OUT 2045.57 SW	1 STORM MANHOLE TOP 2048.35 24" INV. IN 2043.05 NW 24" INV. IN 2043.13 NE 12" INV. IN 2043.00 SE 6" INV. IN 2045.70 SE 30" INV. OUT 2042.95 SW	17 GRATE INLET TOP 2064.35 6" INV. IN 2059.86 SW 12" INV. IN 2060.00 SW 12" INV. OUT 2059.83 NW
B SANITARY MANHOLE TOP 2054.94 8" INV. IN 2051.02 SE 8" INV. OUT 2050.89 SW	2 STORM MANHOLE TOP 2058.32 24" INV. IN 2053.34 NE 24" INV. IN 2053.32 SE 24" INV. OUT 2053.28 SW	18 GRATE INLET TOP 2064.48 6" INV. IN 2060.38 SE 12" INV. OUT 2060.33 NE
C SANITARY MANHOLE TOP 2065.37 6" INV. IN 2061.73 N 8" INV. IN 2060.87 SE 8" INV. IN 2060.85 SW 8" INV. OUT 2060.75 NW	3 STORM MANHOLE TOP 2063.93 18" INV. IN 2057.03 NE 24" INV. IN 2056.93 NE 24" INV. IN 2057.09 SE 24" INV. OUT 2056.87 SW	19 GRATE INLET TOP 2064.40 8" INV. IN 2060.55 SW 8" INV. OUT 2060.50 NW
D SANITARY MANHOLE TOP 2077.11 6" INV. IN 2064.16 SE 6" INV. IN 2064.68 SW 8" INV. OUT 2064.06 NW	4 CURB INLET TOP 2072.06 15" INV. IN 2065.81 NW 4" INV. IN 2068.81 NE 15" INV. IN 2067.86 NE 24" INV. IN 2065.11 SE 24" INV. OUT 2064.96 SW	20 GRATE INLET TOP 2064.44 8" INV. OUT 2061.99 NE
E SANITARY MANHOLE TOP 2078.37 8" INV. IN 2071.45 NE 8" DROP INV. 2065.88 6" INV. IN 2066.69 SW 6" INV. OUT 2066.53 NW	5 CURB INLET TOP 2084.82 15" INV. IN 2079.20 NW 15" INV. IN 2077.82 NE 15" INV. OUT 2077.17 SW	21 STORM MANHOLE TOP 2078.86 24" INV. IN 2064.93 NE 4" INV. IN 2074.03 NE 24" INV. IN 2064.94 SE 12" INV. IN 2068.33 SW 24" INV. OUT 2064.80 NW
F SANITARY MANHOLE TOP 2076.47 8" INV. IN 2069.77 SE 8" INV. OUT 2069.70 NE	6 STORM MANHOLE TOP 2062.55 12" INV. IN 2058.35 SE 8" INV. IN 2056.75 SE 18" INV. IN 2054.00 SE 24" INV. OUT 2054.00 NW	22 STORM MANHOLE TOP 2079.31 12" INV. IN 2071.96 NE 3" INV. IN 2075.91 NE 24" INV. IN 2069.93 SE 4" INV. IN 2073.81 SW 24" INV. OUT 2065.46 NW
G SANITARY MANHOLE TOP 2078.35 6" INV. IN 2069.26 SE 6" INV. IN 2067.73 SW 8" INV. OUT 2067.45 NE	7 STORM MANHOLE UNDERGROUND DETENTION TOP 2062.49 BOTTOM OF STRUCTURE 2054.89	23 STORM MANHOLE TOP 2078.10 24" INV. IN 2069.95 NE 24" INV. OUT 2069.92 NW
H SANITARY MANHOLE TOP 2078.90 6" INV. IN 2071.36 SE 6" INV. OUT 2071.02 NW	8 STORM MANHOLE UNDERGROUND DETENTION TOP 2063.75 BOTTOM 2055.35	24 48" RISER TOP 2079.18 6" INV. IN 2072.84 NW 6" INV. IN 2072.76 SE 24" INV. OUT 2072.14 SW
I SANITARY MANHOLE TOP 2076.46 8" INV. IN 2068.53 SE 8" INV. OUT 2068.44 NE	9 STORM MANHOLE TOP 2063.78 18" INV. IN 2056.48 NW 12" INV. IN 2059.94 SE 18" INV. OUT 2056.33 SW	25 CURB INLET TOP 2078.22 12" INV. IN 2069.14 SE 12" INV. IN 2069.14 SW 12" INV. OUT 2069.12 NE
K GREASE TRAP MANHOLE TOP 2053.64 (TOP OF GREASE) 2051.21	10 CURB INLET TOP 2066.48 12" INV. IN 2061.03 NE 12" INV. OUT 2060.88 NW	26 CURB INLET TOP 2078.05 12" INV. IN 2069.57 SE 12" INV. OUT 2069.50 NE
L GREASE TRAP MANHOLE TOP 2052.97 (TOP OF GREASE) 2051.07	11 CURB INLET TOP 2066.66 4" INV. IN 2062.41 NE 12" INV. OUT 2061.54 SW	27 CURB INLET TOP 2078.30 6" INV. IN 2074.40 SE 6" INV. IN 2074.40 SE 8" INV. IN 2074.26 SW 12" INV. OUT 2069.76 NW
M GREASE TRAP MANHOLE TOP 2065.31 6" INV. OUT 2062.91 (TOP OF GREASE)	12 GRATE INLET TOP 2061.85 15" INV. OUT 2058.60 NW	28 CURB INLET TOP 2078.45 6" INV. IN 2074.17 SE 12" INV. OUT 2069.17 NW
N SANITARY MANHOLE TOP 2078.18 8" INV. IN 2072.42 NE 8" INV. OUT 2072.36 SW	13 CURB INLET TOP 2061.88 15" INV. IN 2057.63 SW 15" INV. IN 2057.98 NE 18" INV. OUT 2057.98 SE	29 GRATED STORM MANHOLE TOP 2079.45 12" INV. OUT 2072.25 SW
O SANITARY MANHOLE TOP 2081.51 6" INV. IN 2074.91 NE 6" INV. IN 2074.36 NE 8" INV. OUT 2074.26 SW	14 CURB INLET TOP 2066.53 12" INV. IN 2061.91 NE 12" INV. IN 2061.95 SE 15" INV. OUT 2061.85 SW	30 STORM MANHOLE TOP 2080.04 15" INV. IN 2073.40 NE 15" INV. OUT 2073.20 NW
P SANITARY MANHOLE TOP 2083.69 4" INV. IN 2080.09 NE 6" INV. OUT 2079.99 SW	15 CURB INLET TOP 2073.75 12" INV. OUT 2066.20 SW	31 GRATED STORM MANHOLE TOP 2084.26 12" INV. OUT 2076.52 SW
Q SANITARY MANHOLE TOP 2082.40 8" INV. IN 2074.83 NE 8" INV. IN 2074.90 SE 8" INV. OUT 2074.73 SW	16 STORM MANHOLE TOP 2064.10 12" INV. IN 2059.82 SE 12" INV. OUT 2059.52 NW	32 STORM MANHOLE TOP 2086.28 15" INV. IN 2078.86 SE 4" INV. IN 2084.13 SE 15" INV. OUT 2078.63 SW
Y GREASE TRAP TOP 2070.61 PIPES NOT VISIBLE		

WATER STRUCTURES TABLE

W1 WATER MANHOLE TOP 2079.11 TOP OF VALVE 2076.76 BOTTOM OF STRUCTURE 2075.01

LEGEND

	Property Line		Rod Found		Electric Box
	Lot Line		Monument Found		Guy Pole
	Contour		Telephone Pedestal		Electric Marker
	Gas Line		Telephone Manhole		Electrical Manhole
	Overhead Power		Telephone Box		Utility Pole
	Sanitary Sewer and Manhole		Fire Hydrant		Electric Transformer
	Storm Line and Manhole		Water Valve		Ground Light
	Storm Line and Inlet		Water Meter		Light Pole
	Underground Cable TV		Well		Fiber Optic Pedestal
	Underground Electric		Benchmark		Fiber Optic Handhole
	Underground Telephone		Bollard		Gas Vent
	Underground Fiber Optic		Sign (1-post)		Gas Valve
	Unknown Utility		Sign (2-post)		Gas Meter
	Waterline		Spot Elevation		Sewer Clean Out
	Asphalt		Deciduous Tree		Wood Post
	Building		Evergreen Tree		Metal Post
	Fence (as noted)		Shrub		Gravel
	Stream		Concrete		USNF Upstream Structure Not Found
	Treeline		Crossing marking		DSNF Downstream Structure Not Found
	Guy Wire		HC marking		Bike Rack
			Brick Walk		

LEGEND

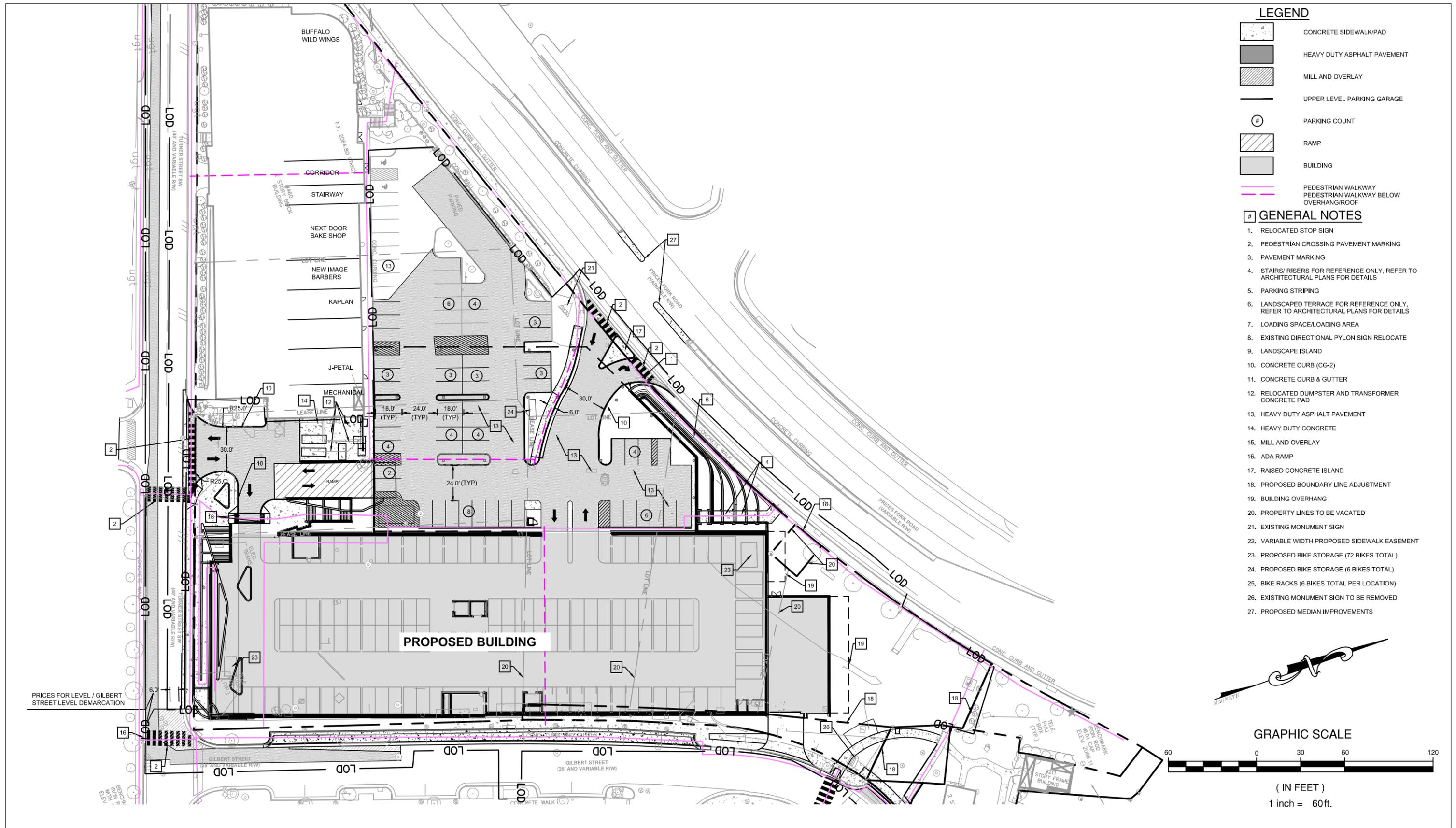
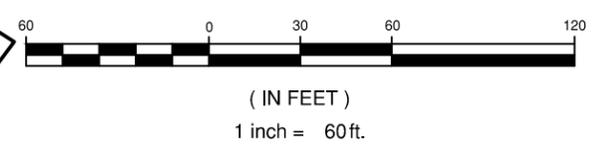
-  CONCRETE SIDEWALK/PAD
-  HEAVY DUTY ASPHALT PAVEMENT
-  MILL AND OVERLAY
-  UPPER LEVEL PARKING GARAGE
-  PARKING COUNT
-  RAMP
-  BUILDING
-  PEDESTRIAN WALKWAY BELOW OVERHANG/ROOF

GENERAL NOTES

1. RELOCATED STOP SIGN
2. PEDESTRIAN CROSSING PAVEMENT MARKING
3. PAVEMENT MARKING
4. STAIRS/ RISERS FOR REFERENCE ONLY, REFER TO ARCHITECTURAL PLANS FOR DETAILS
5. PARKING STRIPING
6. LANDSCAPED TERRACE FOR REFERENCE ONLY, REFER TO ARCHITECTURAL PLANS FOR DETAILS
7. LOADING SPACE/LOADING AREA
8. EXISTING DIRECTIONAL PYLON SIGN RELOCATE
9. LANDSCAPE ISLAND
10. CONCRETE CURB (CG-2)
11. CONCRETE CURB & GUTTER
12. RELOCATED DUMPSTER AND TRANSFORMER CONCRETE PAD
13. HEAVY DUTY ASPHALT PAVEMENT
14. HEAVY DUTY CONCRETE
15. MILL AND OVERLAY
16. ADA RAMP
17. RAISED CONCRETE ISLAND
18. PROPOSED BOUNDARY LINE ADJUSTMENT
19. BUILDING OVERHANG
20. PROPERTY LINES TO BE VACATED
21. EXISTING MONUMENT SIGN
22. VARIABLE WIDTH PROPOSED SIDEWALK EASEMENT
23. PROPOSED BIKE STORAGE (72 BIKES TOTAL)
24. PROPOSED BIKE STORAGE (6 BIKES TOTAL)
25. BIKE RACKS (6 BIKES TOTAL PER LOCATION)
26. EXISTING MONUMENT SIGN TO BE REMOVED
27. PROPOSED MEDIAN IMPROVEMENTS

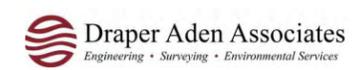


GRAPHIC SCALE

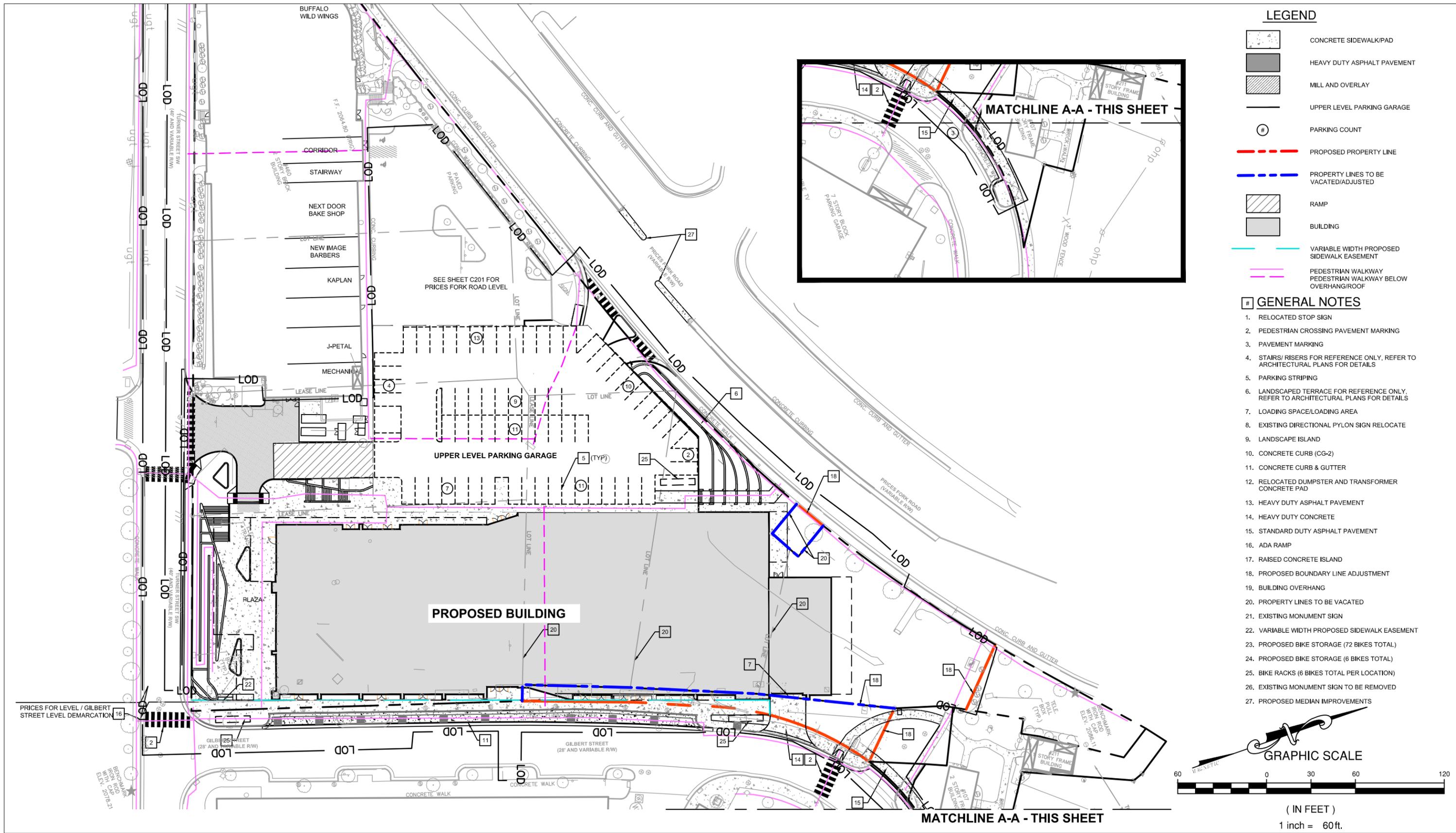


VIRGINIA TECH FOUNDATION - GILBERT STREET MIXED-USE

DRAWING NUMBER: C301
 DRAWING NAME: Site Plan - Prices Fork Road Level



DATE: 30 SEPTEMBER 2019



VIRGINIA TECH FOUNDATION - GILBERT STREET MIXED-USE

DRAWING NUMBER: C302
 DRAWING NAME: Site Plan - Gilbert Street Level



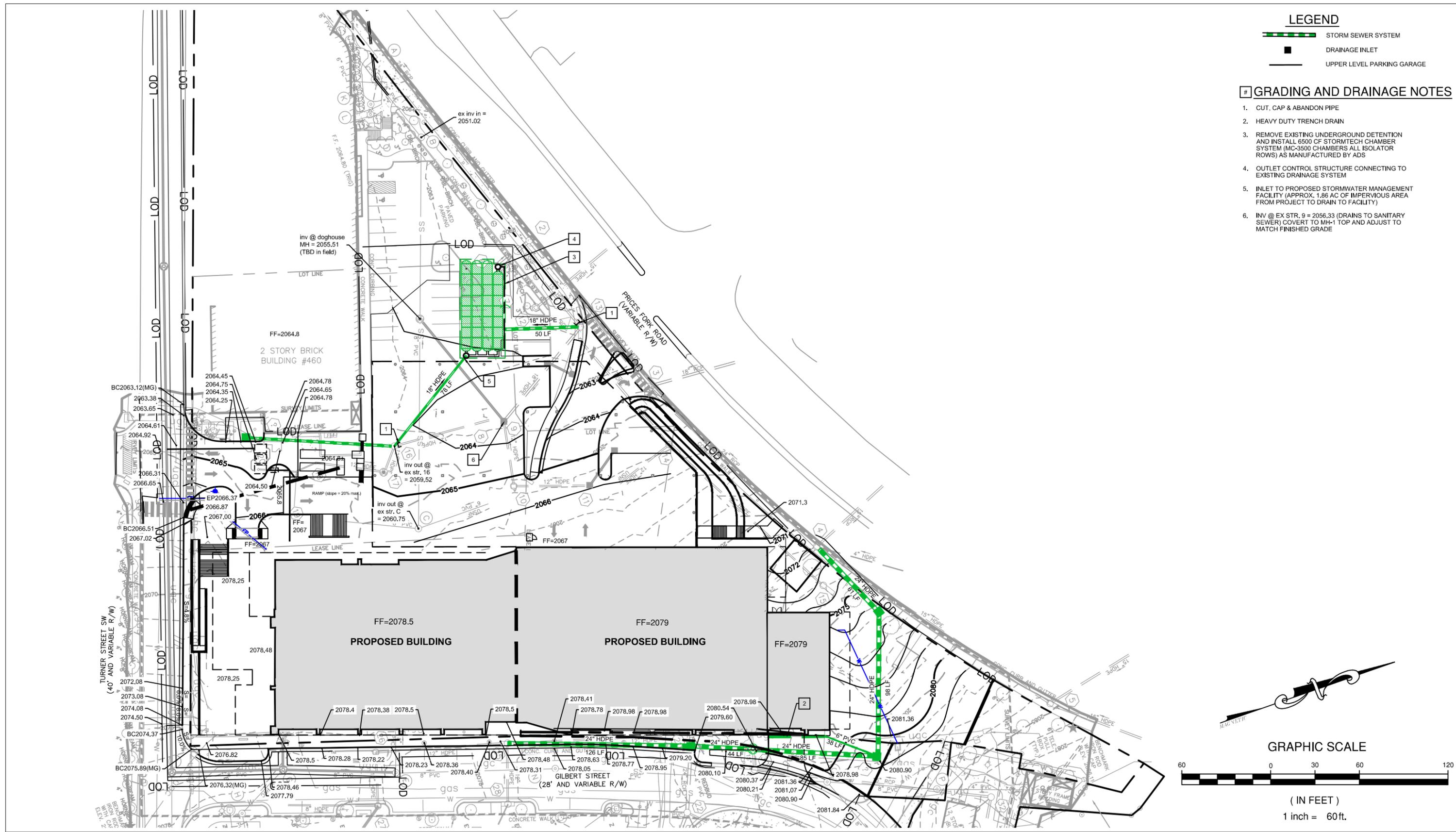
DATE: 30 SEPTEMBER 2019

LEGEND

-  STORM SEWER SYSTEM
-  DRAINAGE INLET
-  UPPER LEVEL PARKING GARAGE

GRADING AND DRAINAGE NOTES

1. CUT, CAP & ABANDON PIPE
2. HEAVY DUTY TRENCH DRAIN
3. REMOVE EXISTING UNDERGROUND DETENTION AND INSTALL 6500 CF STORMTECH CHAMBER SYSTEM (MC-3500 CHAMBERS ALL ISOLATOR ROWS) AS MANUFACTURED BY ADS
4. OUTLET CONTROL STRUCTURE CONNECTING TO EXISTING DRAINAGE SYSTEM
5. INLET TO PROPOSED STORMWATER MANAGEMENT FACILITY (APPROX. 1.86 AC OF IMPERVIOUS AREA FROM PROJECT TO DRAIN TO FACILITY)
6. INV @ EX STR. 9 = 2056.33 (DRAINS TO SANITARY SEWER) COVERT TO MH-1 TOP AND ADJUST TO MATCH FINISHED GRADE

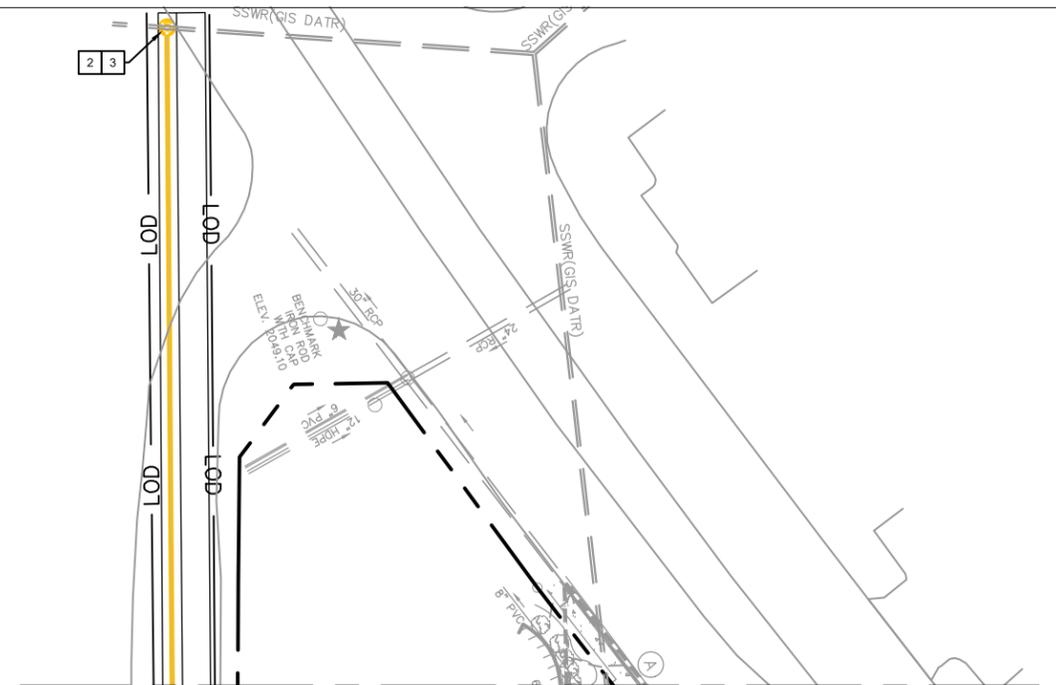
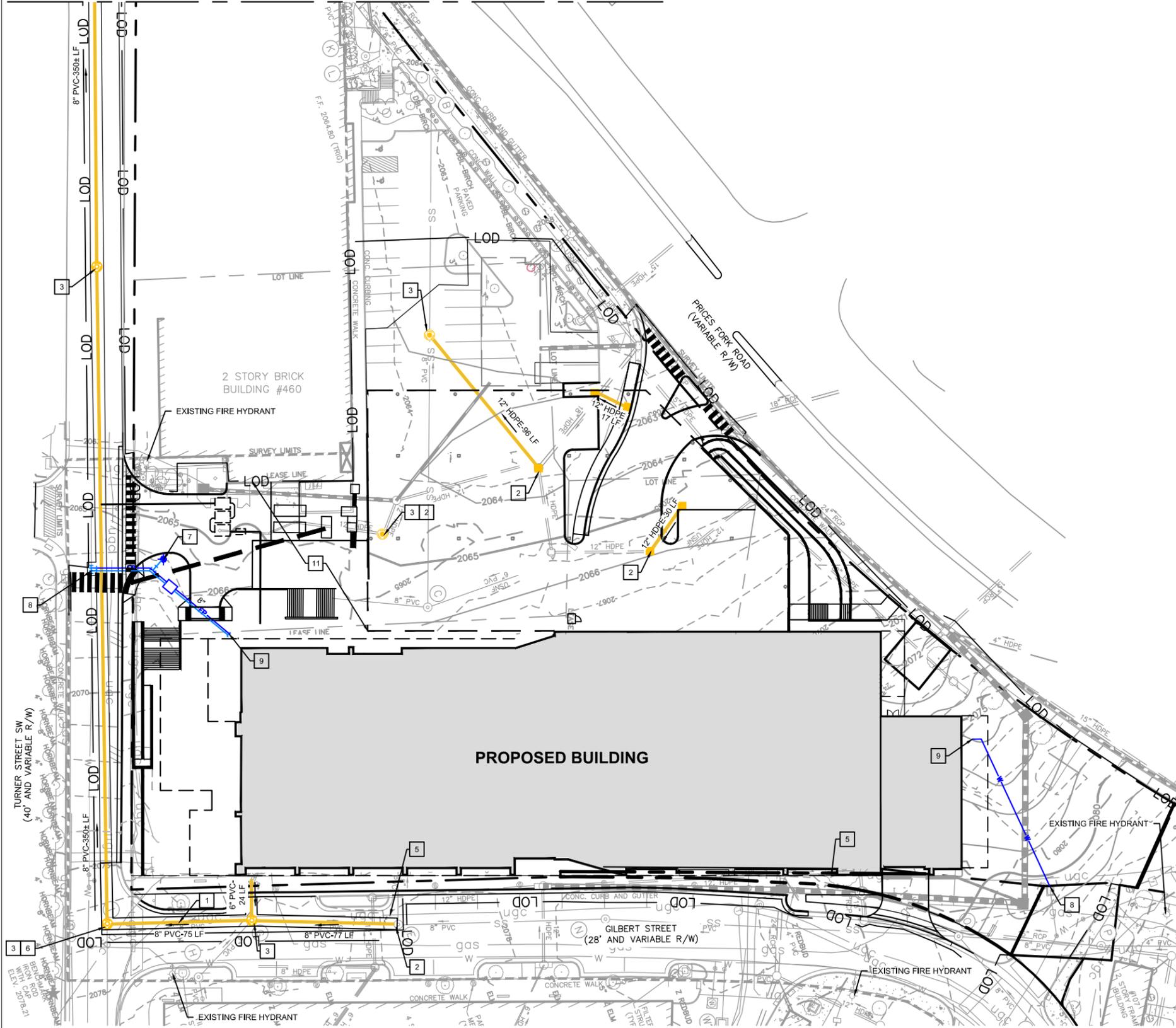


GRAPHIC SCALE



(IN FEET)
1 inch = 60ft.

MATCHLINE A-A - THIS SHEET



MATCHLINE A-A - THIS SHEET

LEGEND

- SANITARY SEWER
- 8" FIRE PROTECTION WATERLINE
- 8" DOMESTIC WATERLINE
- SANITARY SEWER MANHOLE
- FIRE HYDRANT
- UPPER LEVEL PARKING GARAGE

UTILITY NOTES

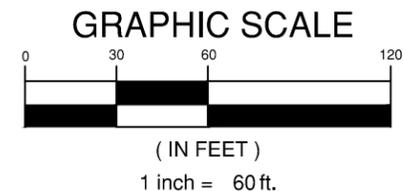
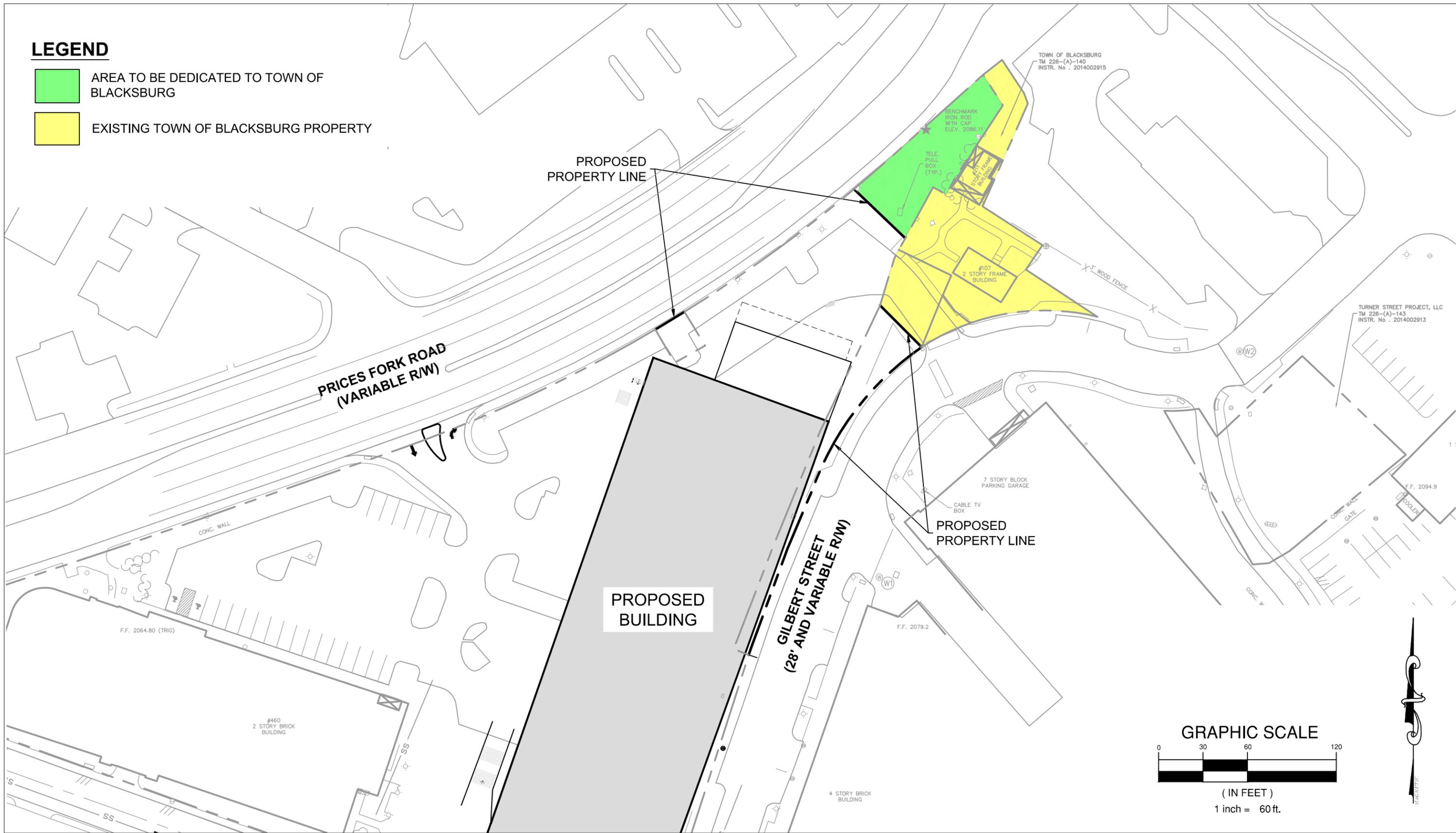
1. RECONSTRUCT 8" SANITARY SEWER TO REVERSE FLOW APPROXIMATELY 152 LF
2. CONNECT TO EXISTING MANHOLE
3. SANITARY SEWER MANHOLE
4. FIRE HYDRANT ASSEMBLY
5. RELOCATE UGE AND UGC, TO BE COORDINATED WITH UTILITY OWNERS
6. DROP CONNECTION AT NEW MANHOLE
7. PROPOSED FIRE HYDRANT
8. TAPPING SLEEVE AND VALVE
9. CONNECT TO BUILDING, FOR REFERENCE ONLY, REFER TO PLUMBING PLANS FOR DETAIL.
10. GREASE TRAPS FOR BUILDING, LOCATION TBD, AND CONNECT TO SANITARY SEWER SYSTEM.
11. UTILITY AND SERVICE AREA WILL BE LOCATED BETWEEN THE NEW BUILDING AND BUILDING 460. THIS AREA WILL HOUSE THE REFUSE FACILITIES, GREASE TRAPS, ELECTRIC TRANSFORMERS AND MECHANICAL EQUIPMENT.



GRAPHIC SCALE
(IN FEET)
1 inch = 60ft.

LEGEND

- AREA TO BE DEDICATED TO TOWN OF BLACKSBURG
- EXISTING TOWN OF BLACKSBURG PROPERTY

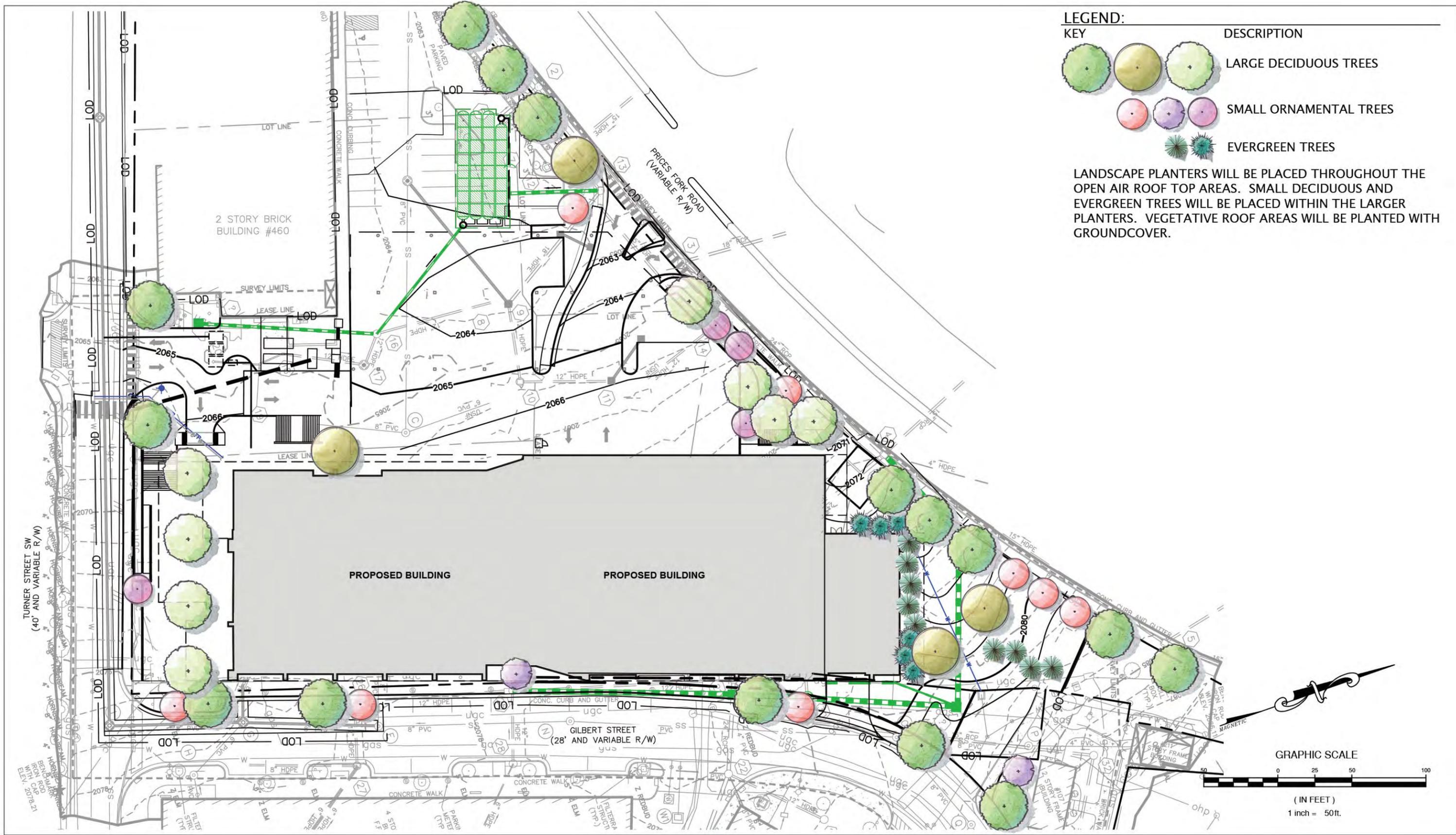


VIRGINIA TECH FOUNDATION - GILBERT STREET MIXED-USE

DRAWING NUMBER: C900
 DRAWING NAME: **Odd Fellows Parcel Comparison**



DATE: 08 OCTOBER 2019

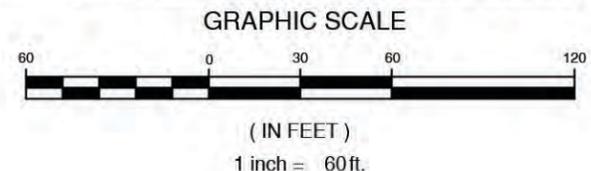
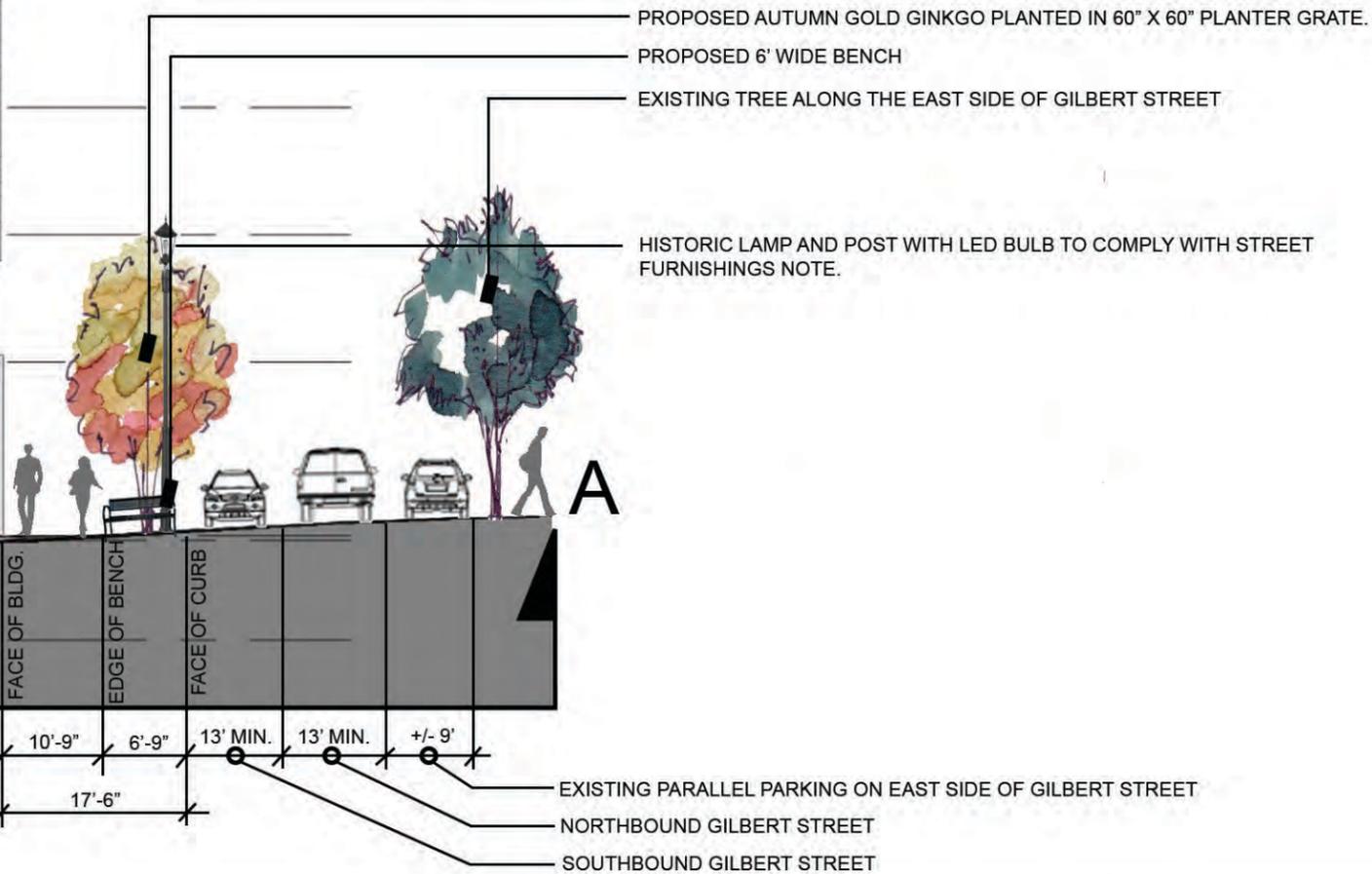
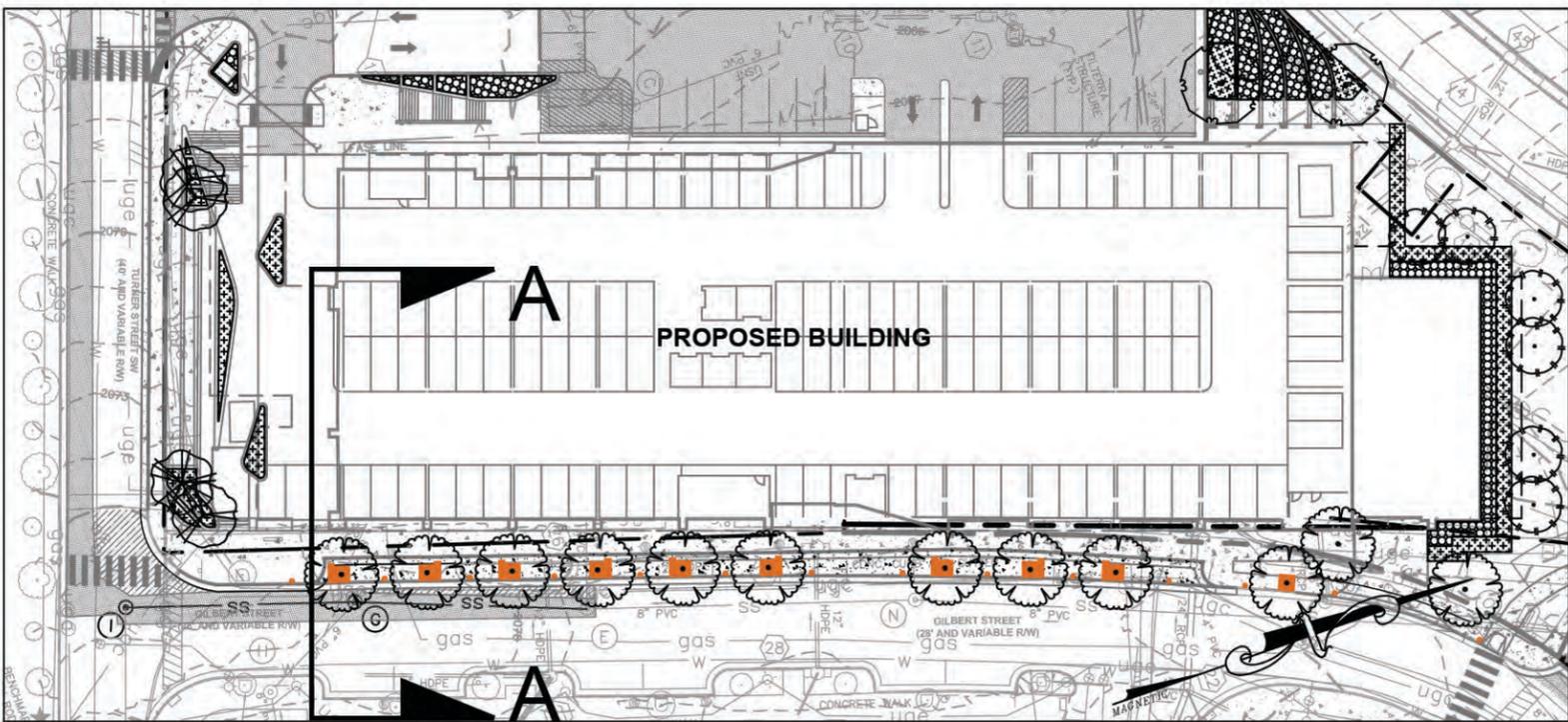


VIRGINIA TECH FOUNDATION - GILBERT STREET MIXED-USE

DRAWING NUMBER: L100
 DRAWING NAME: Landscape Plan



DATE: 1 AUGUST 2019



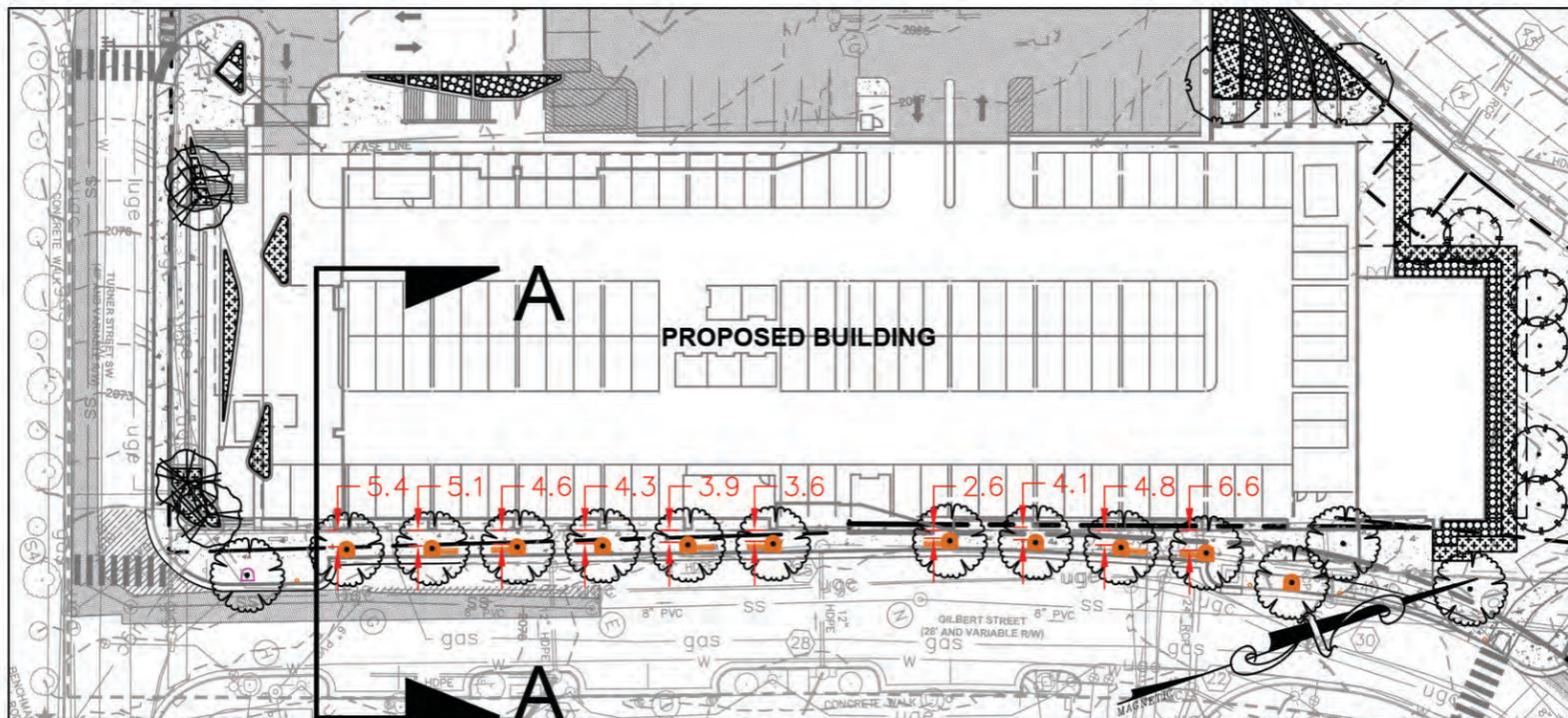
STREET FURNISHINGS NOTE:
 STREET FURNITURE, WHICH SHALL BE CONSISTENT WITH THE STREET FURNITURE CURRENTLY USED IN DOWNTOWN BLACKSBURG, WILL BE PROVIDED AND MAY INCLUDE SEATING, LIGHTING, BANNERS AND/OR PLANTING IN MOVABLE CONTAINERS. BENCHES, TRASHCANS, PLANTERS AND LIGHT POLES SHALL BE PROVIDED IN SIMILAR FREQUENCY AS CURRENTLY EXISTS IN DOWNTOWN AND SHALL USE THE CURRENT DOWNTOWN PALETTE OF MATERIAL DESIGN.

VIRGINIA TECH FOUNDATION - GILBERT STREET MIXED-USE

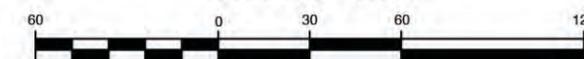
DRAWING NUMBER: L102
 DRAWING NAME: GILBERT STREETScape SECTION



DATE: 15 NOVEMBER 2019



GRAPHIC SCALE



(IN FEET)
1 inch = 60ft.

STREET FURNISHINGS NOTE:

STREET FURNITURE, WHICH SHALL BE CONSISTENT WITH THE STREET FURNITURE CURRENTLY USED IN DOWNTOWN BLACKSBURG, WILL BE PROVIDED AND MAY INCLUDE SEATING, LIGHTING, BANNERS AND/OR PLANTING IN MOVABLE CONTAINERS. BENCHES, TRASHCANS, PLANTERS AND LIGHT POLES SHALL BE PROVIDED IN SIMILAR FREQUENCY AS CURRENTLY EXISTS IN DOWNTOWN AND SHALL USE THE CURRENT DOWNTOWN PALETTE OF MATERIAL DESIGN.

PROPOSED AUTUMN GOLD GINKGO PLANTED IN 60" X 60" PLANTER GRATE.

EXISTING TREE ALONG THE EAST SIDE OF GILBERT STREET

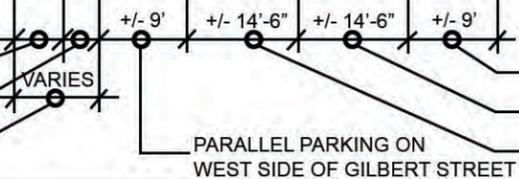
HISTORIC LAMP AND POST WITH LED BULB TO COMPLY WITH STREET FURNISHINGS NOTE.



A

A

FACE OF BUILDING TO OPENING OF TREE GRATE
(VARIES FROM 5.4' TO 3.6' SOUTH OF MAIN ENTRY)
FACE OF CURB TO BACK OPENING OF TREE GRATE (3.6')
FACE OF BUILDING TO FACE OF CURB
(VARIES FROM 9.0' TO 7.2' SOUTH OF MAIN ENTRY)



EXISTING PARALLEL PARKING ON EAST SIDE OF GILBERT STREET
NORTHBOUND GILBERT STREET
SOUTHBOUND GILBERT STREET
PARALLEL PARKING ON WEST SIDE OF GILBERT STREET

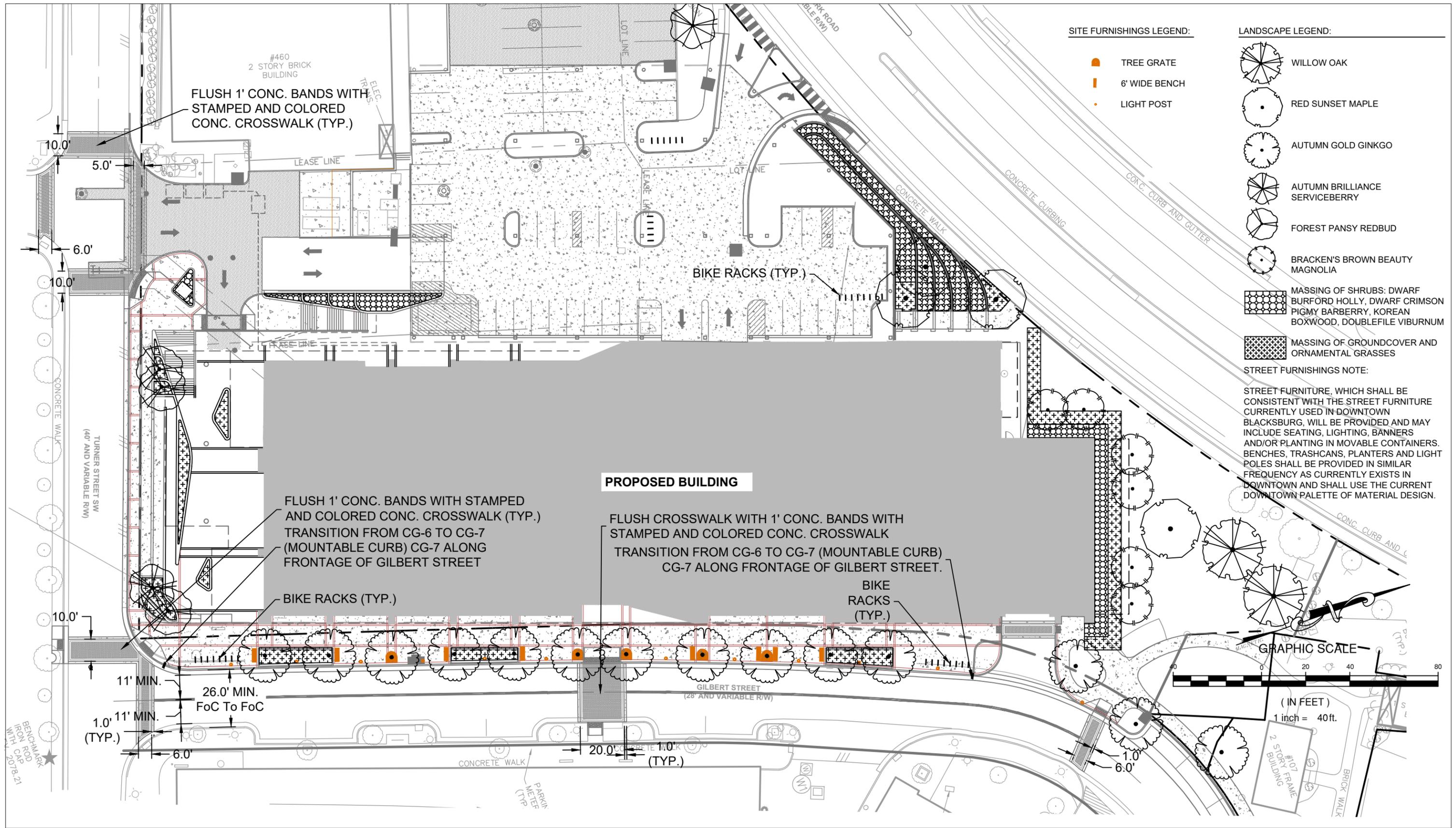
VIRGINIA TECH FOUNDATION - GILBERT STREET MIXED-USE

DRAWING NUMBER:
L103

DRAWING NAME:
GILBERT STREETSCAPE SECTION - COMPARISON WITH ON-STREET PARKING



DATE:
8 OCTOBER 2019



SITE FURNISHINGS LEGEND:

-  TREE GRATE
-  6' WIDE BENCH
-  LIGHT POST

LANDSCAPE LEGEND:

-  WILLOW OAK
-  RED SUNSET MAPLE
-  AUTUMN GOLD GINKGO
-  AUTUMN BRILLIANCE SERVICEBERRY
-  FOREST PANSY REDBUD
-  BRACKEN'S BROWN BEAUTY MAGNOLIA
-  MASSING OF SHRUBS: DWARF BURFORD HOLLY, DWARF CRIMSON PIGMY BARBERRY, KOREAN BOXWOOD, DOUBLEFILE VIBURNUM
-  MASSING OF GROUNDCOVER AND ORNAMENTAL GRASSES

STREET FURNISHINGS NOTE:

STREET FURNITURE, WHICH SHALL BE CONSISTENT WITH THE STREET FURNITURE CURRENTLY USED IN DOWNTOWN BLACKSBURG, WILL BE PROVIDED AND MAY INCLUDE SEATING, LIGHTING, BANNERS AND/OR PLANTING IN MOVABLE CONTAINERS. BENCHES, TRASHCANS, PLANTERS AND LIGHT POLES SHALL BE PROVIDED IN SIMILAR FREQUENCY AS CURRENTLY EXISTS IN DOWNTOWN AND SHALL USE THE CURRENT DOWNTOWN PALETTE OF MATERIAL DESIGN.

PROPOSED BUILDING

FLUSH 1' CONC. BANDS WITH STAMPED AND COLORED CONC. CROSSWALK (TYP.)

FLUSH 1' CONC. BANDS WITH STAMPED AND COLORED CONC. CROSSWALK (TYP.)
TRANSITION FROM CG-6 TO CG-7 (MOUNTABLE CURB) CG-7 ALONG FRONTAGE OF GILBERT STREET

FLUSH CROSSWALK WITH 1' CONC. BANDS WITH STAMPED AND COLORED CONC. CROSSWALK
TRANSITION FROM CG-6 TO CG-7 (MOUNTABLE CURB) CG-7 ALONG FRONTAGE OF GILBERT STREET.



ELEVATION - EAST

1/32" = 1'-0"



VIRGINIA TECH FOUNDATION - GILBERT STREET MIXED-USE

DRAWING NUMBER:
AZ-101

DRAWING NAME:
EXTERIOR ELEVATION



DATE:
OCTOBER 1, 2019



ELEVATION - NORTH

1/32" = 1'-0"





ELEVATION - WEST

1/32" = 1'-0"

VIRGINIA TECH FOUNDATION - GILBERT STREET MIXED-USE

DRAWING NUMBER: AZ-103
DRAWING NAME: EXTERIOR ELEVATION

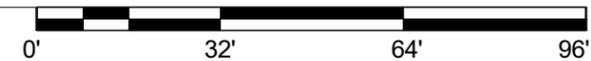


DATE:
AUGUST 1, 2019



ELEVATION - SOUTH

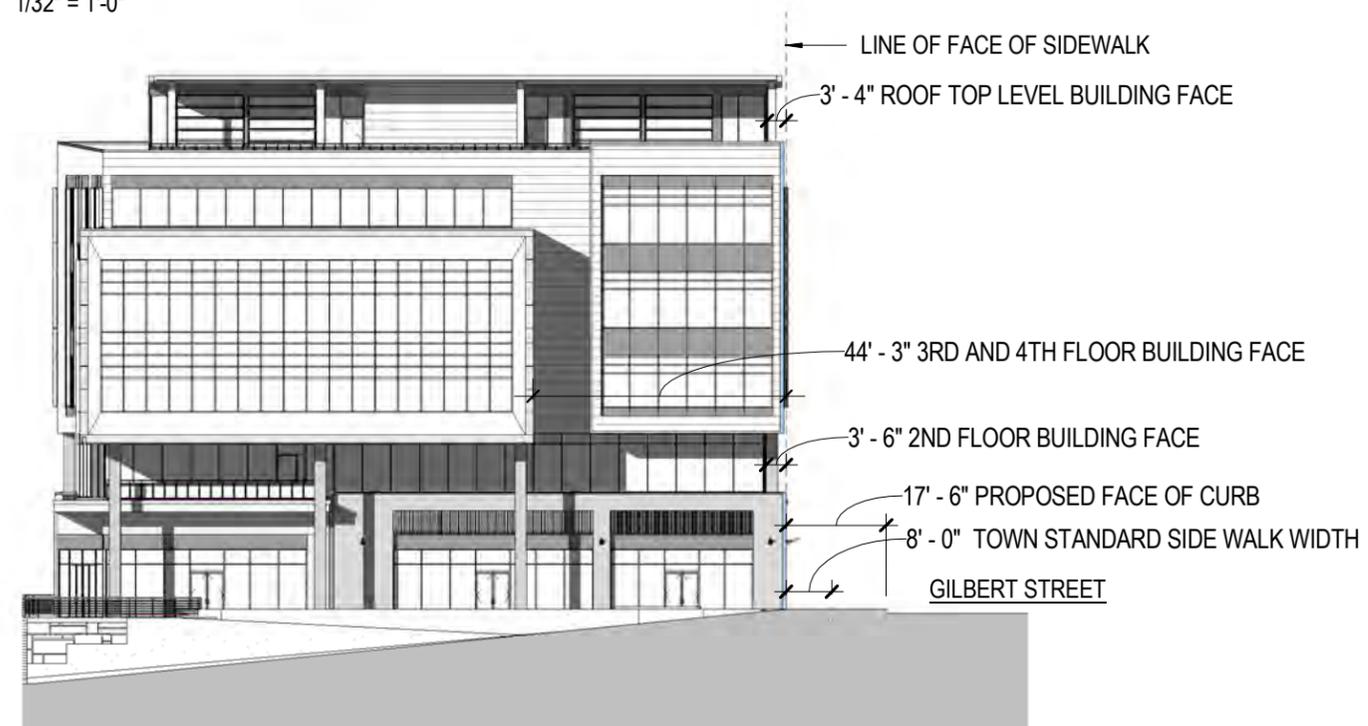
1/32" = 1'-0"





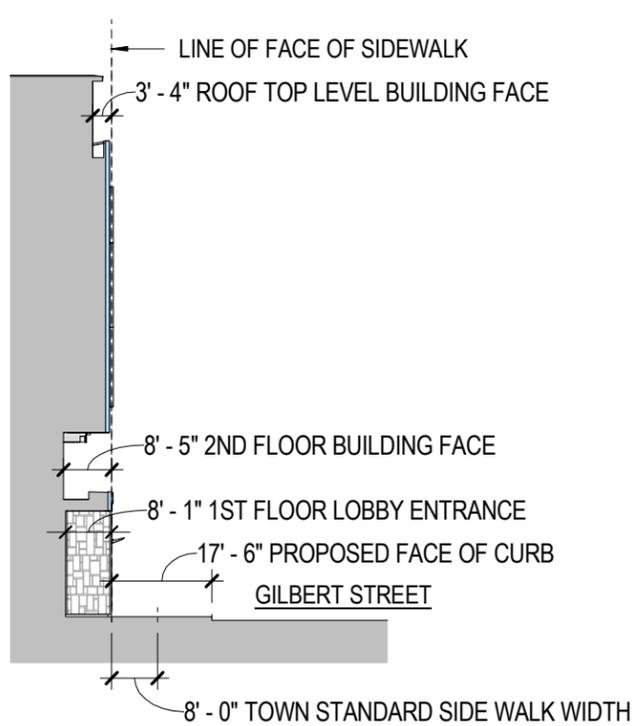
ELEVATION - EAST

1/32" = 1'-0"



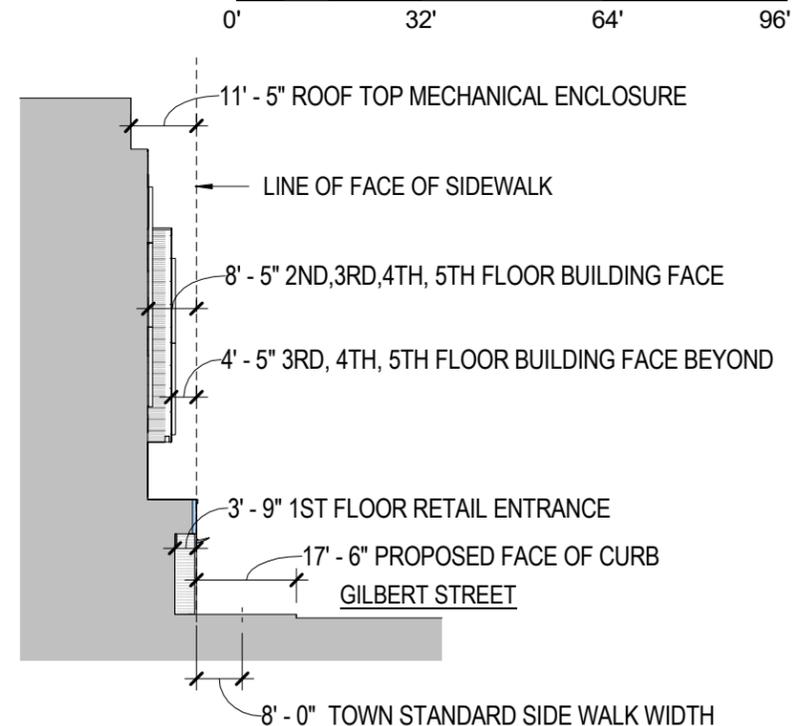
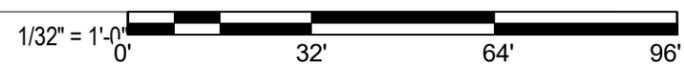
ELEVATION - SOUTH

1/32" = 1'-0"



1 SETBACK - LOBBY

1/32" = 1'-0"



2 SETBACK - ANCHOR RETAIL

1/32" = 1'-0"



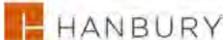




VIRGINIA TECH FOUNDATION - GILBERT STREET MIXED-USE

DRAWING NUMBER:
AZ-201

DRAWING NAME:
EXTERIOR RENDERING - SOUTH EAST VIEW



DATE:
NOV 15, 2019



VIRGINIA TECH FOUNDATION - GILBERT STREET MIXED-USE

DRAWING NUMBER:
AZ-202

DRAWING NAME:
EXTERIOR RENDERING - NORTH EAST VIEW



DATE:
NOV 15, 2019



VIRGINIA TECH FOUNDATION - GILBERT STREET MIXED-USE

DRAWING NUMBER:
AZ-203

DRAWING NAME:
EXTERIOR RENDERING - SOUTH EAST VIEW



DATE:
NOV 15, 2019



VIRGINIA TECH FOUNDATION - GILBERT STREET MIXED-USE

DRAWING NUMBER:
AZ-204

DRAWING NAME:
EXTERIOR RENDERING - SOUTH WEST VIEW



DATE:
NOV 15, 2019



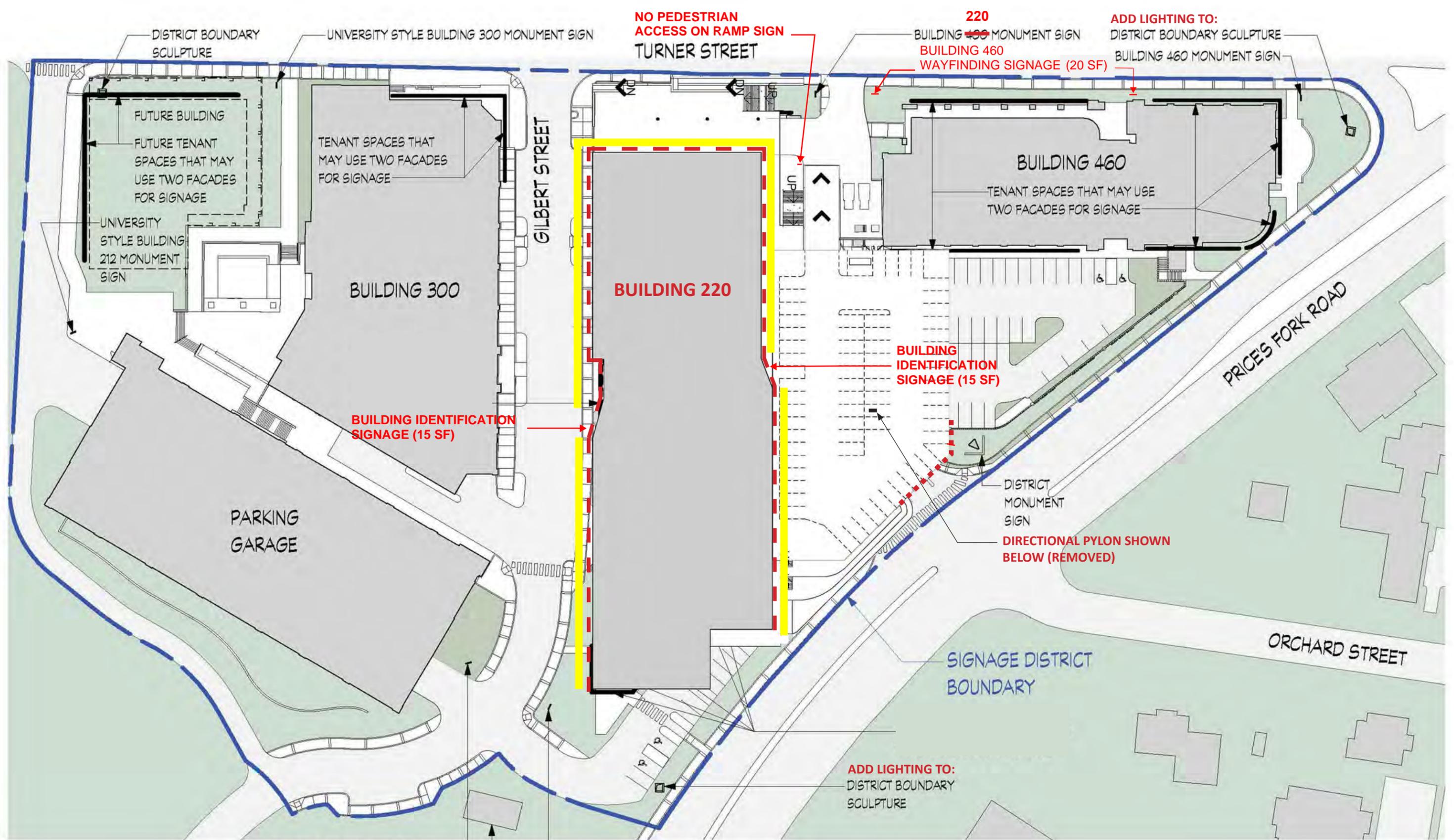
VIRGINIA TECH FOUNDATION - GILBERT STREET MIXED-USE

DRAWING NUMBER:
AZ-205

DRAWING NAME:
EXTERIOR RENDERING - NORTH EAST VIEW



DATE:
NOV 15, 2019



BUILDING 212 MONUMENT SIGN

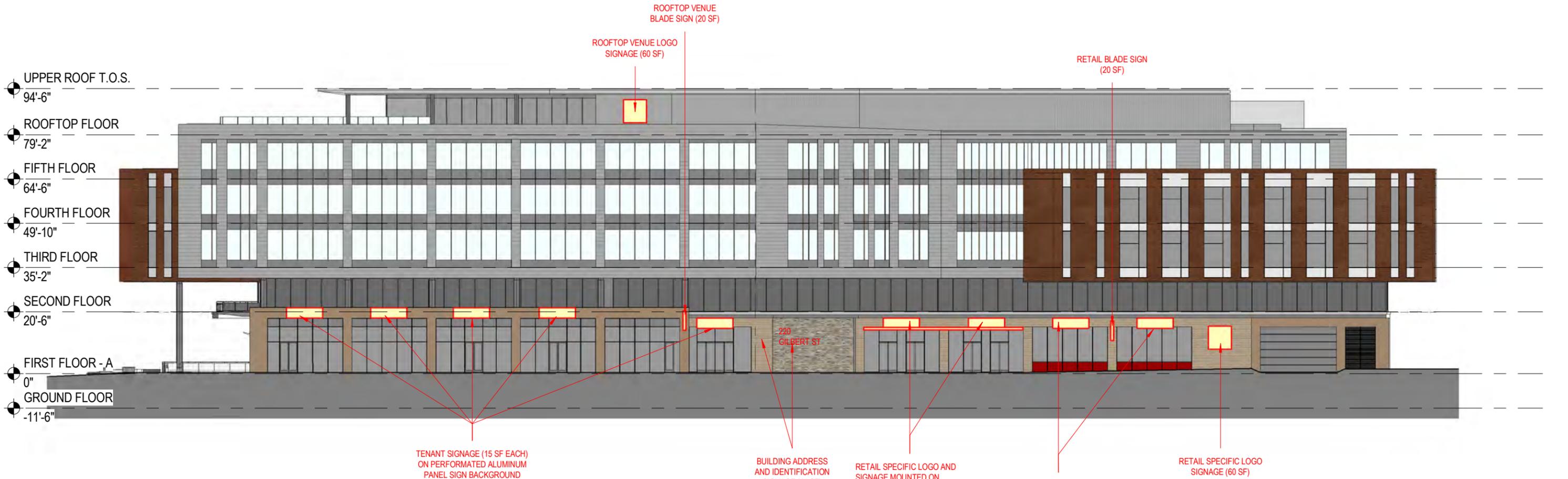
ODD FELLOWS HALL

~~DIRECTIONAL SIGN PYLON (REMOVED)~~

TENANT SPACES THAT MAY USE TWO FACADES FOR SIGNAGE FOR FUTURE BUILDINGS

- SIGNAGE DISTRICT BOUNDARY
- SIGNAGE LOCATIONS PERMITTED BY ORDINANCE ~~1700~~ 1734 (NO CHANGE REQUESTED)
- SIGNAGE LOCATIONS REQUESTED IN THIS AMENDMENT TO ORDINANCE ~~1700~~ 1734 FOR EXISTING BUILDING
- - - SIGNAGE LOCATIONS REQUESTED IN THIS AMENDMENT TO ORDINANCE ~~1700~~ 1734 FOR FUTURE BUILDINGS





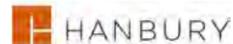
ELEVATION - EAST

1/32" = 1'-0"



VIRGINIA TECH FOUNDATION - GILBERT STREET MIXED-USE

DRAWING NUMBER: AS-101
 DRAWING NAME: SIGNAGE ELEVATION



DATE:
 OCTOBER 1, 2019



ELEVATION - NORTH

1/32" = 1'-0"





ELEVATION - WEST

1/32" = 1'-0"



VIRGINIA TECH FOUNDATION - GILBERT STREET MIXED-USE

DRAWING NUMBER: AS-103
 DRAWING NAME: SIGNAGE ELEVATION



DATE: OCTOBER 1, 2019

- UPPER ROOF T.O.S. 94'-6"
- ROOFTOP FLOOR 79'-2"
- FIFTH FLOOR 64'-6"
- FOURTH FLOOR 49'-10"
- THIRD FLOOR 35'-2"
- SECOND FLOOR 20'-6"
- FIRST FLOOR - A 0"
- GROUND FLOOR -11'-6"



TENANT SIGNAGE (15 SF)
ON PERFORMATED
ALUMINUM PANEL SIGN
BACKGROUND

ELEVATION - SOUTH

1/32" = 1'-0"





TECH

KAPLAN TEST PREP

NEW IMAGE BARBER STYLIST

next door BAKE SHOP



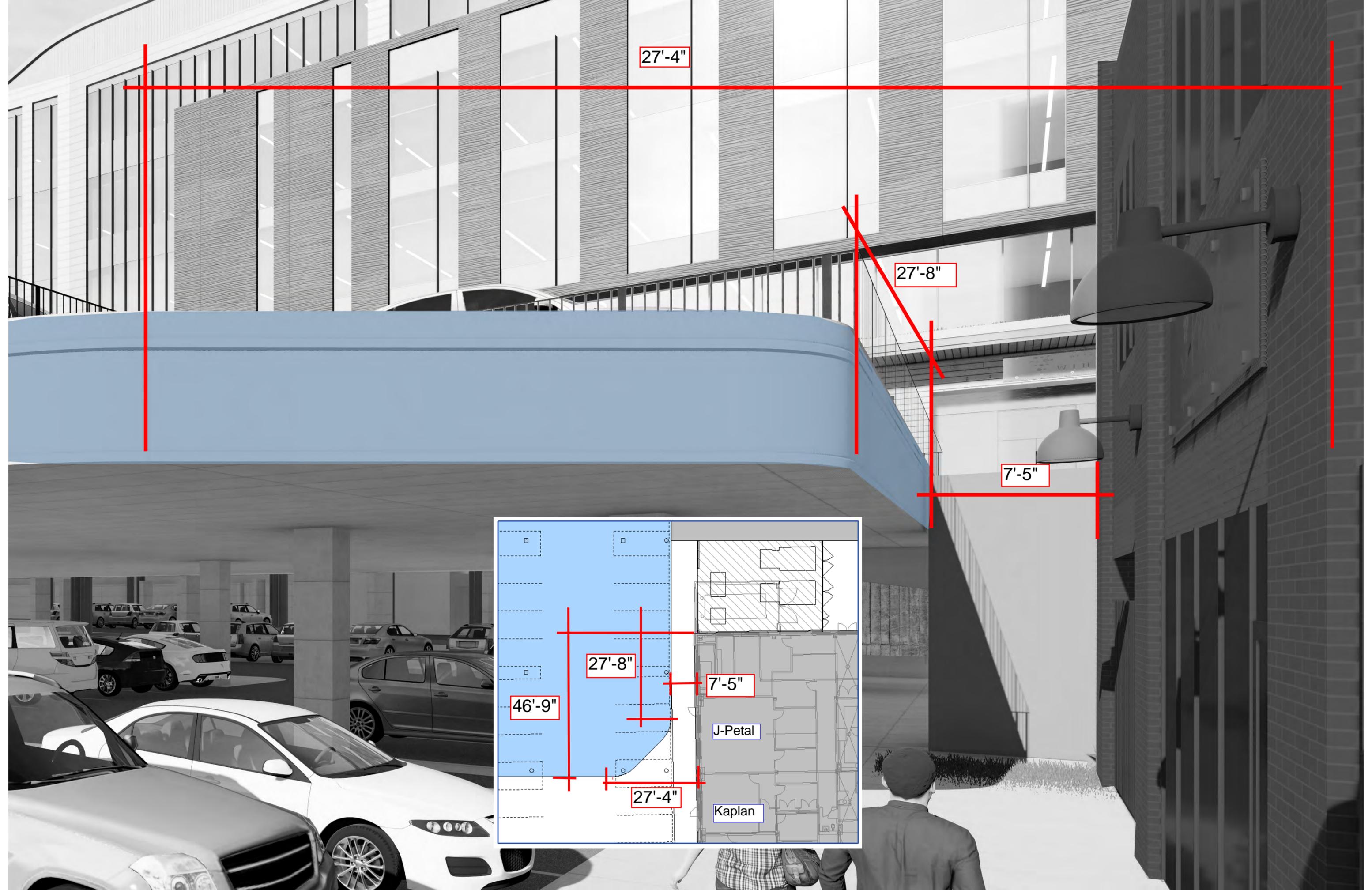


KAPLAN TEST PREP

NEW IMAGE
BARBER STYLIST

next door
BAKE SHOP

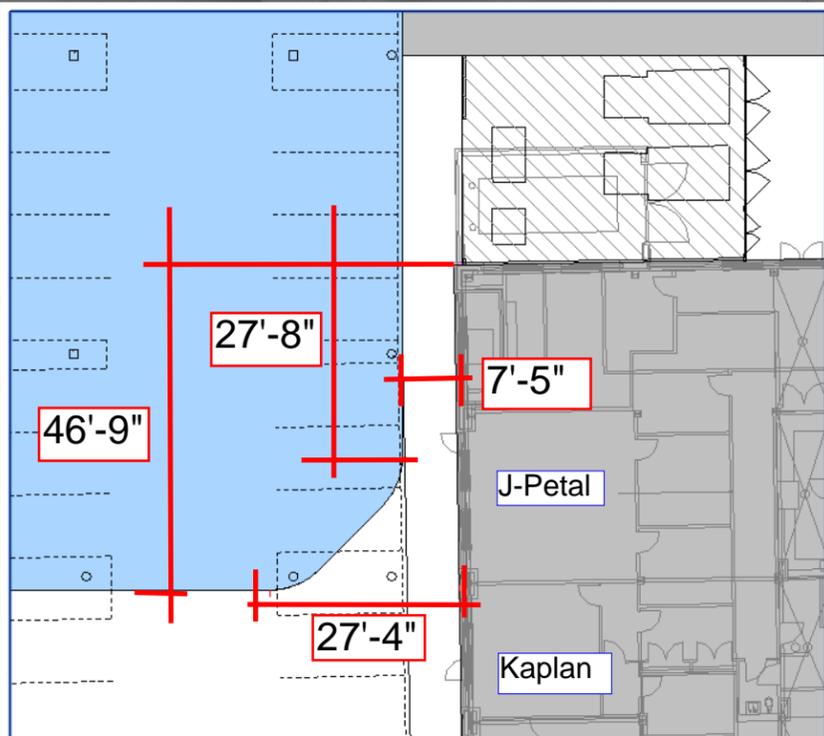




27'-4"

27'-8"

7'-5"



46'-9"

27'-8"

27'-4"

7'-5"

J-Petal

Kaplan

VIRGINIA TECH FOUNDATION GILBERT STREET MIXED-USE

November 5, 2019



APPLICATIONS SUBMITTED BY VIRGINIA TECH FOUNDATION FOR THE GILBERT STREET PROJECT

1 CHANGE OF ZONING CLASSIFICATION FOR AMENDED PROFFERS

Rezoning from Downtown Commercial with Conditions to Downtown Commercial with Amended Conditions

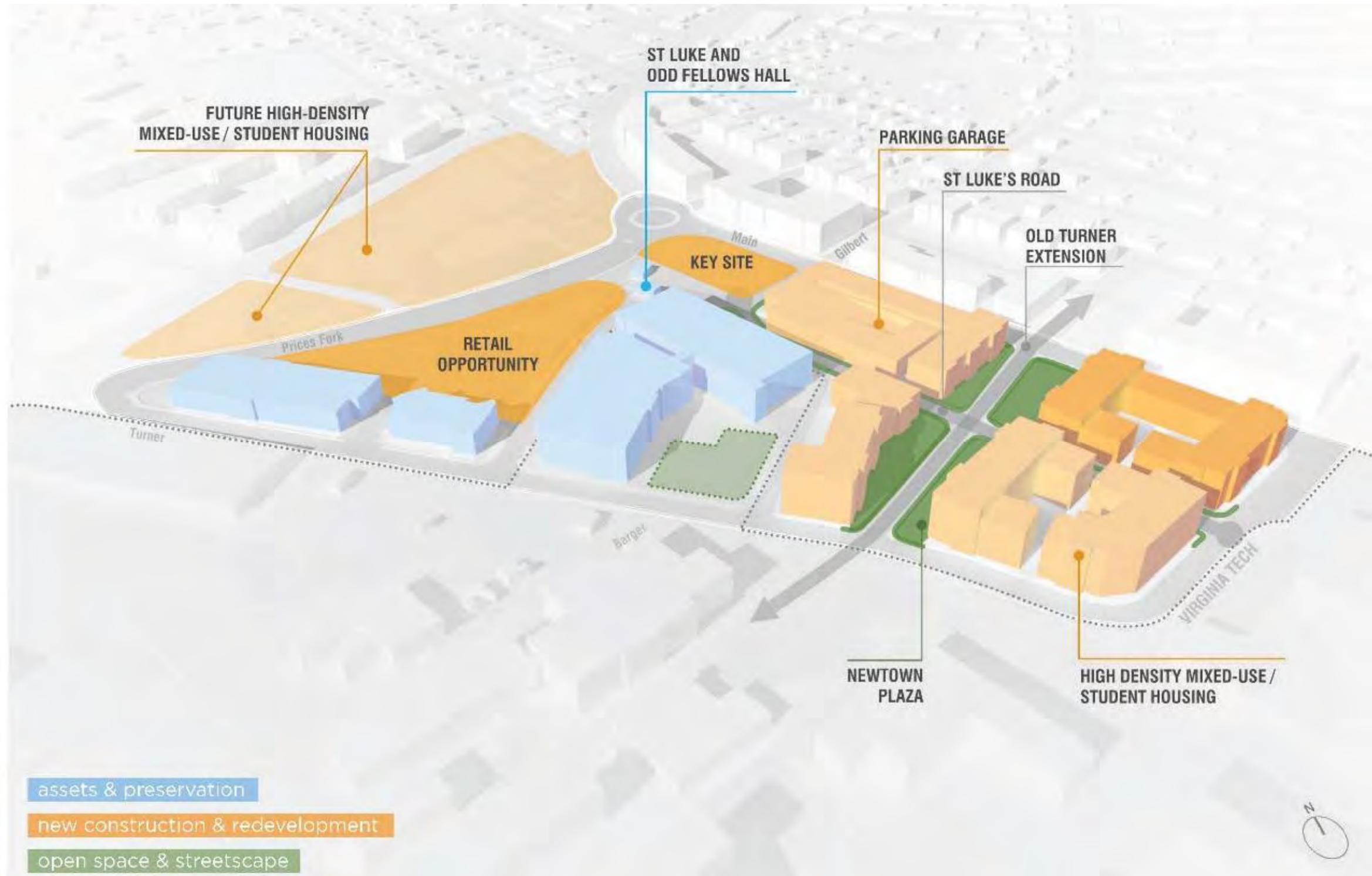
2 CONDITIONAL USE PERMIT

For building height up to 100' in Downtown Commercial Zoning District

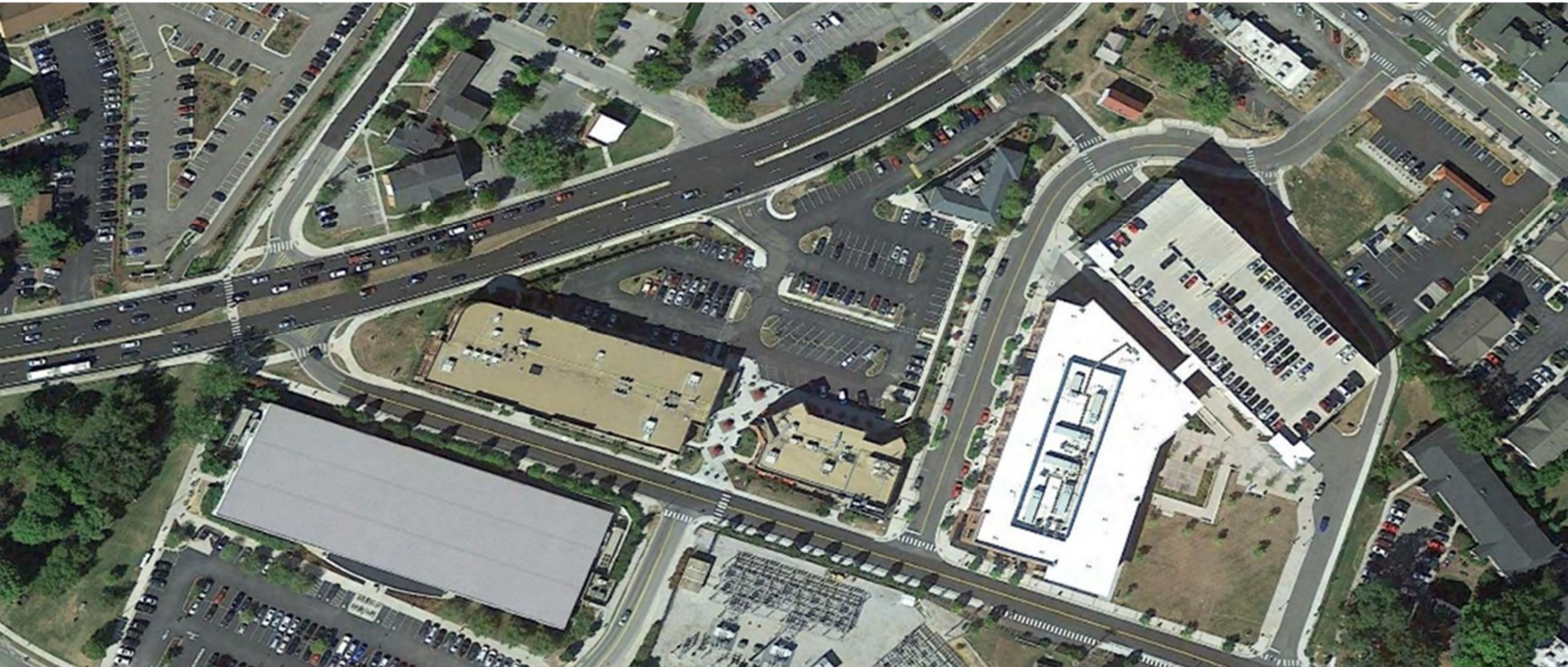
3 RIGHT OF WAY VACATION

4 CHANGE OF ZONING CLASSIFICATION FOR AMENDED SIGNAGE DISTRICT PLAN

20-YEAR ILLUSTRATIVE VISION FOR DOWNTOWN NORTHWEST



SITE CONTEXT | EXISTING CONDITIONS



1

CHANGE OF ZONING CLASSIFICATION FOR AMENDED PROFFERS

Rezoning from Downtown Commercial with Conditions to Downtown Commercial with Amended Conditions

2

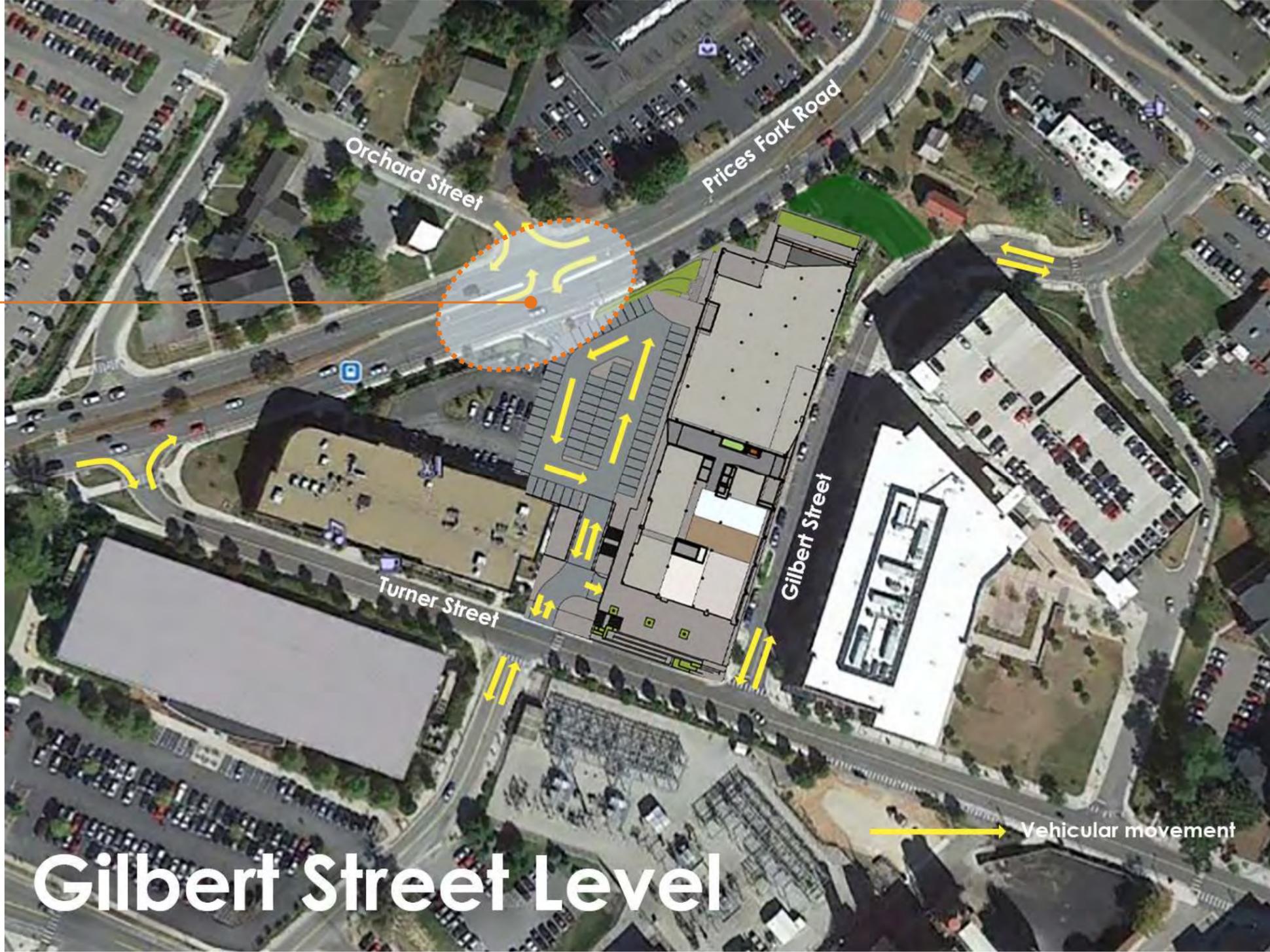
CONDITIONAL USE PERMIT

For building height up to 100' in Downtown Commercial Zoning District

PROPOSED SITE CONCEPT

Vehicular and Pedestrian Access

Proffered Median Improvements restrict through traffic from Orchard Street

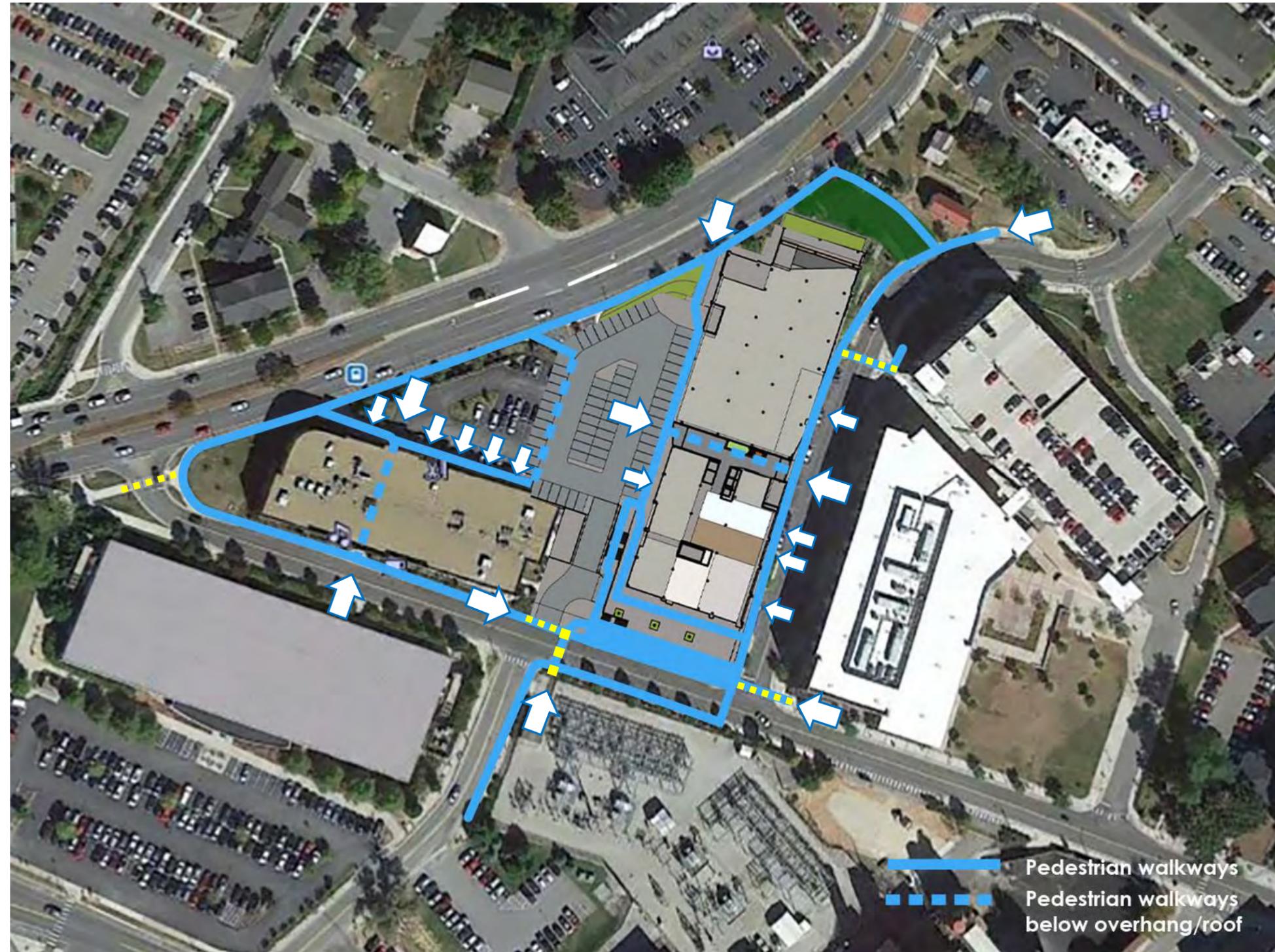


Gilbert Street Level

Vehicular – Gilbert Street Level

PROPOSED SITE CONCEPT

Vehicular and Pedestrian Access





TURNER STREET

PRICES FORK ROAD

GILBERT STREET

RETAIL

RETAIL

SERVICE

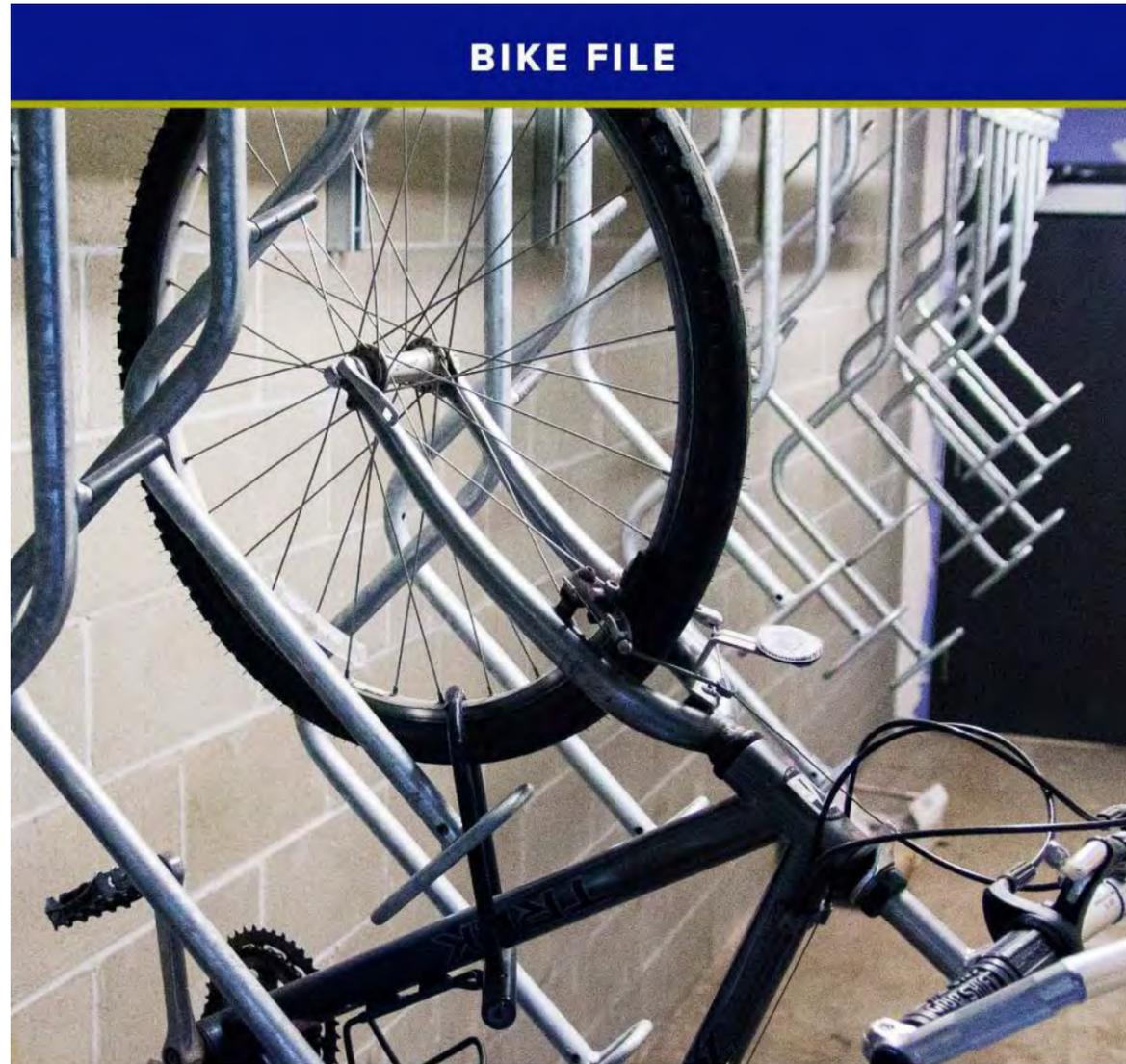
RETAIL

UP UP



Gilbert Street Level Floor Plan View

COVERED AND SECURED BIKE STORAGE



BIKE FILE



High Efficiency

The Bike File is our most space efficient u-lock compatible product. Sturdy sliding hangers allow nine bikes to be securely stored in an eight-foot section while allowing for easy loading and unloading of bikes.



© 2015 Dero®

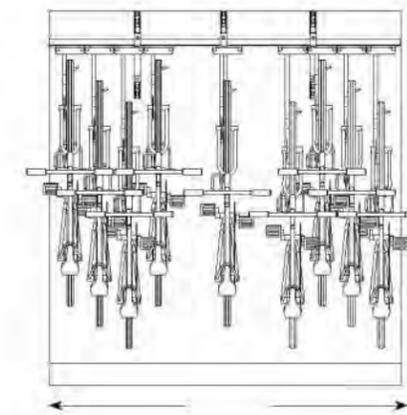
BIKE FILE Submittal Sheet

CAPACITY 9 bikes per 8-foot unit

MATERIALS 12 gauge galvanized steel trolley track
Stainless steel trolley assembly
1\"/>

MOUNT OPTIONS

- Wall Mount**
The Bike File is available in a wall-mounted configuration. Please contact us if you are interested in a floor-mounted Bike File.
- Ceiling Mount**
The Bike File is available in a ceiling-mounted configuration.
- Floor Mount**
The Bike File is also available in a floor-mounted option.

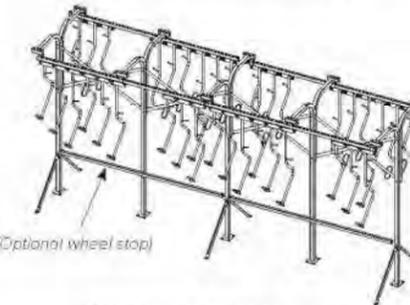


Trolleys allow you to push neighboring bikes apart when hanging or removing a bike.



(Optional) wheel stop

Bike Files may be spliced together for expanded, continuous bike storage.



(Optional) wheel stop

A double-sided option is available.



www.dero.com | 1-888-337-6729

© 2015 Dero®



View from Prices Fork Road looking South



64 FEET STEP BACK AT ROOF TOP ROOF

21 FEET STEP BACK AT FIFTH FLOOR

42 FEET STEP BACK AT FIRST AND SECOND FLOOR

View from Turner Street looking North East



3 FOOT STEP BACK

8' - 5" FOOT STEP BACK

3' - 6" STEP BACK AT SECOND FLOOR OFFICES

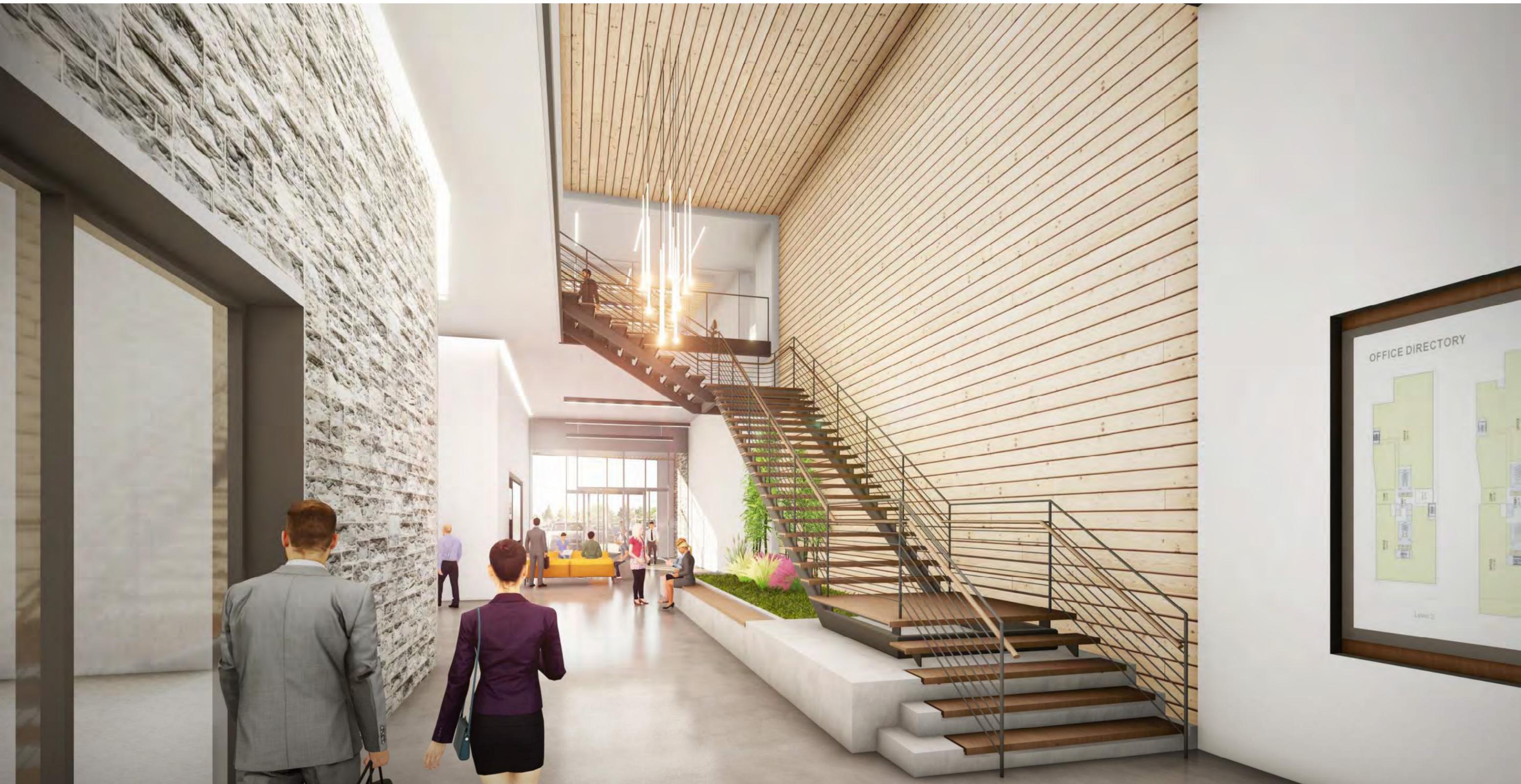
3' - 6" STEP BACK AT RETAIL ENTRANCES

View from Turner Street looking North West

SITE SECTION



Street Profile across Gilbert Street looking North



Main Lobby looking West



View from Rooftop Venue looking West



View from Gilbert Street looking South West

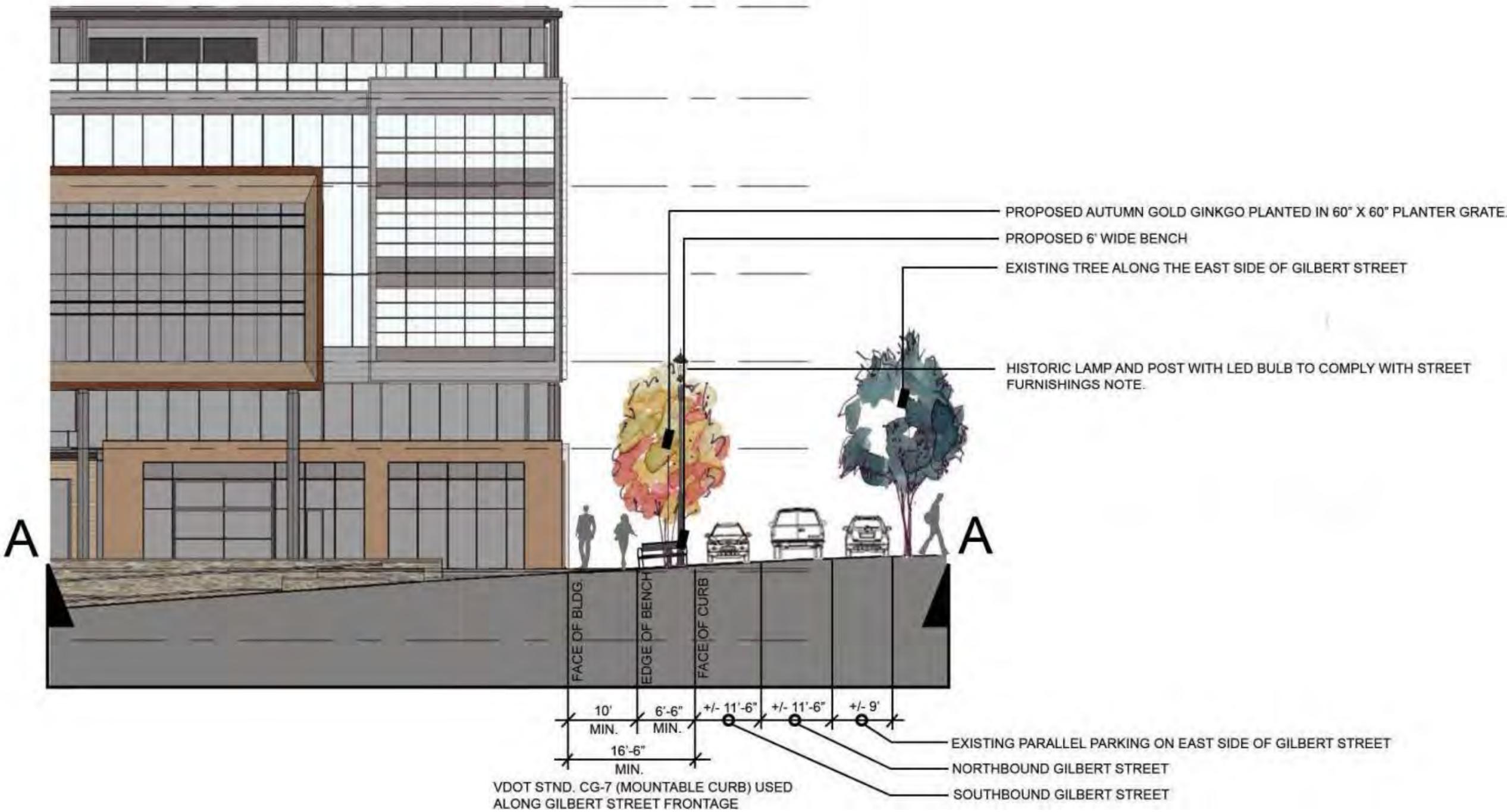


View from Gilbert Street looking West



View from Turner Street looking North West

GILBERT STREETScape SECTION



EXISTING BUILDING 460



EXISTING BUILDING 460



BENEFITS OF REZONING AND CUP

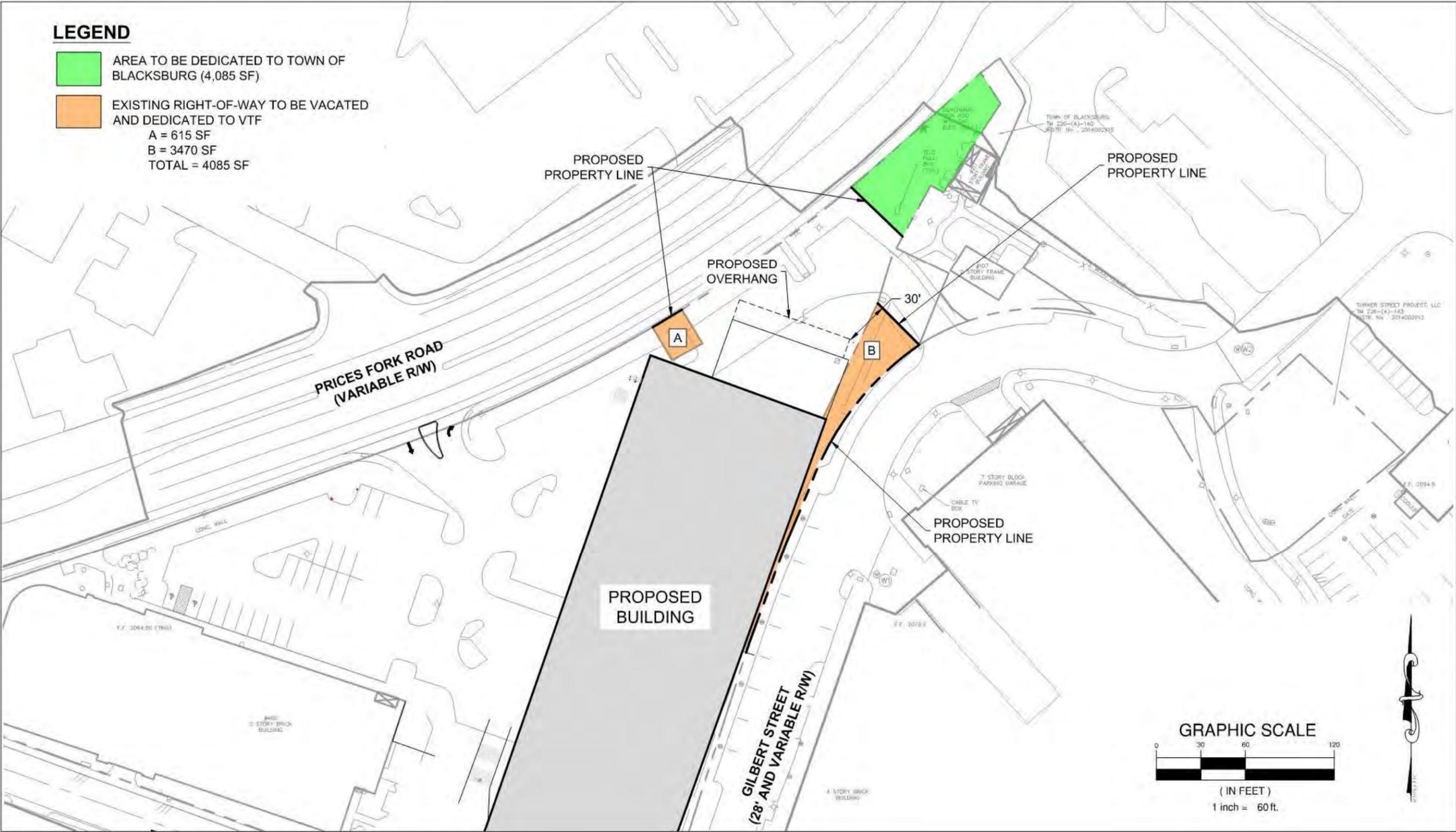
Compatibility with Comprehensive Plan; Furthering Zoning Ordinance

- **Connections to Amazon**
- **Promoting Pedestrian Experience and Generating Additional Foot Traffic for Existing Restaurants and Retail Shops**
- **Promoting Vitality and Interaction of People in Downtown**
- **Promoting Character and Identity of Downtown Commercial Zoning District**
- **A Building Designed for Urban Use that is Compatible with Adjacent Area**

3

RIGHT OF WAY VACATION

RIGHT OF WAY VACATION



RIGHT OF WAY VACATION

St. Luke and Odd Fellows Hall



SHADOW STUDY



JUNE 1, 12:00 PM



OCTOBER 1, 12:00 PM



FEBURARY 1, 12:00 PM

SHADOW STUDY



JUNE 1, 4:00 PM



OCTOBER 1, 4:00 PM

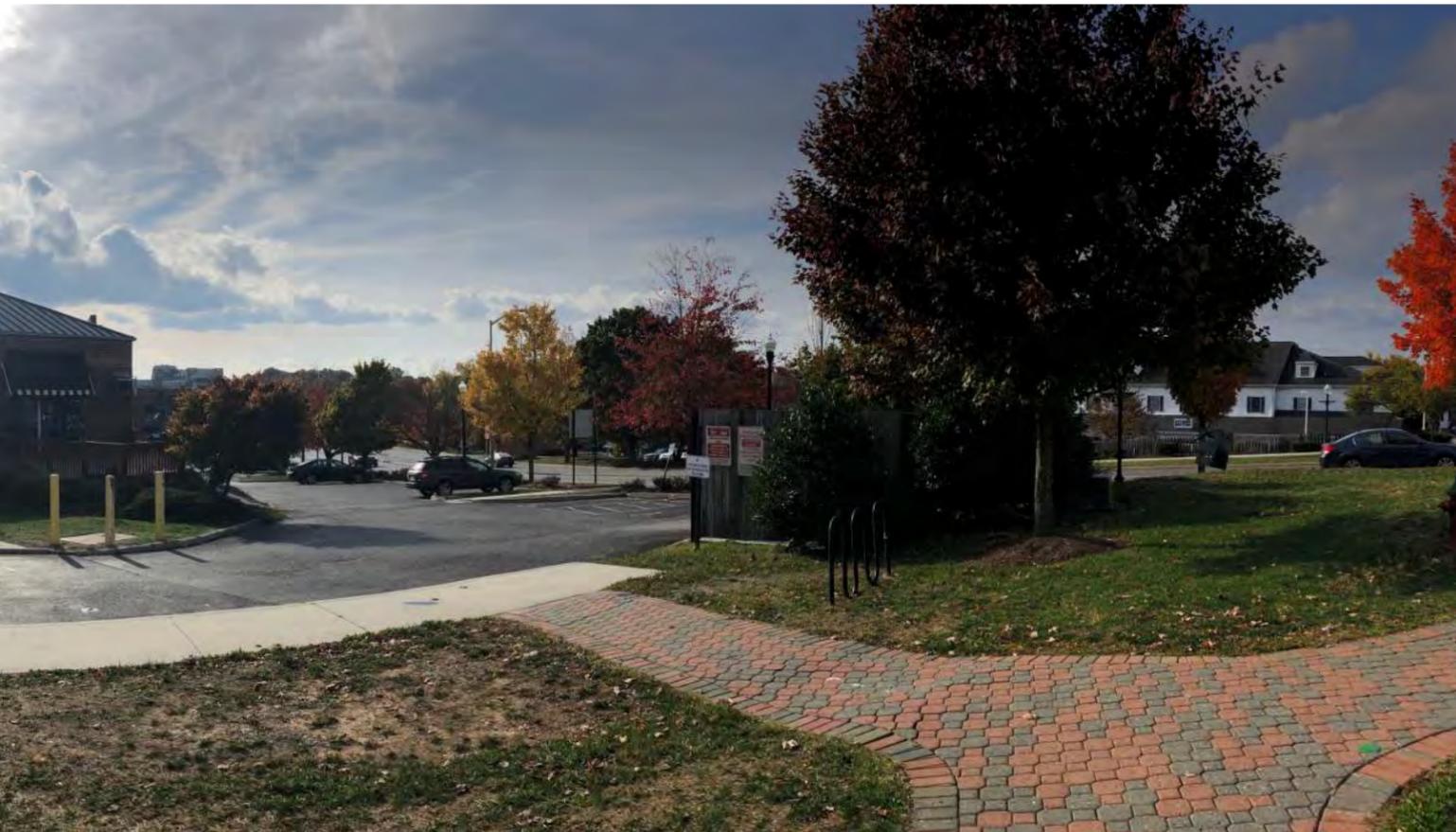


FEBRUARY 1, 4:00 PM

VIEWS FROM ST. LUKE AND ODD FELLOWS HALL



VIEWS FROM ST. LUKE AND ODD FELLOWS HALL





View from Prices Fork looking South East

BENEFITS OF RIGHT-OF-WAY VACATION

- **Converts Unused Right-of-Way into Usable Area Enabling Development of Gilbert Street Mixed-Use Project**
 - The 4,085 square feet of right-of-way is unused (and is likely unusable for another public function such as park land or public open space) but will allow for the development of the Gilbert Street Mixed-Use Project.
- **Enables Dedication of 4,085 SF Area to Town**
 - As consideration for the vacation of right-of-way by the Town, Virginia Tech Foundation will dedicate an equal square footage of land to the Town of Blacksburg.
 - The dedicated area will enhance the greenspace adjacent to and the overall aesthetic appeal and experience for visitors to the historic St. Luke and Odd Fellows Hall creating additional public open space and an overall public benefit.
- **Memorandum of Understanding with Cultural and Historic Foundation**

ECONOMIC AND FISCAL IMPACT

Provided by Magnum Economics



- **Economic and Fiscal Contribution by the Gilbert Street Mixed-Use Project to the Town of Blacksburg and County of Montgomery**
 - Total Capital Investment in the Gilbert-Street Mixed Use Development by Virginia Tech Foundation
 - \$80,000,000 (Mixed-Use Construction and Soft Costs)
- **Substantial Boost to the Area's Construction Industry**
 - The Construction Industry is the County's Second Largest Growth Sector and Comparatively Pays Above Average Wages
 - One-Time Pulse of Economic Activity Associated with Construction of Gilbert Street Project
 - **DIRECT** Impact on the Town of Blacksburg and County of Montgomery During Both Years of Construction
 - 363 New Full-Time Equivalent Jobs
 - \$14.3 Million in Associated Labor Income
 - \$39.8 Million in Additional Economic Output
- **Economic Impact of Gilbert Street Mixed-Use Project at Buildout**
 - **DIRECT** Annual Impact on the Town of Blacksburg and County of Montgomery
 - 638 Full-Time Equivalent Jobs
 - \$30.8 Million in Labor Income
 - \$36.5 Million in Additional Economic Output
- **Net New Annual Tax Revenue to the Town of Blacksburg and County of Montgomery**
 - Annual Sales, Meals, Business License Taxes and Leasehold Estate Taxes Will Generate Additional Tax Revenue
 - Based on Projected Revenue Source/Tax Base of:
 - \$14,714,988 in sales, \$7,150,803 in meals, \$409,079 in leasehold interest and \$14,714,988 in business license sales
 - Estimate Town Tax Revenue and County Tax Revenue:
 - \$476,254 of Town Tax Revenue for Town of Blacksburg
 - \$134,079 of County Tax Revenue for County of Montgomery (excludes potential revenue from Merchants Capital and Business Personal Property Tax for the County)

ECONOMIC AND FISCAL IMPACT

Construction

Table 2: Estimated Annual Economic and Fiscal Impact on Montgomery County and the Town of Blacksburg from Construction the **Gilbert Street Mixed-Use Development** (2019 dollars)

Economic Impact	Employment	Labor Income	Output
1st Round Direct Economic Activity	363	\$14,337,136	\$39,829,872
2nd Round Indirect and Induced Economic Activity	127	\$4,971,644	\$15,876,230
Total Economic Activity	490	\$19,308,780	\$55,706,102
Fiscal Impact			
State and Local Tax Revenue			\$1,741,820

ECONOMIC AND FISCAL IMPACT

Ongoing Operation

Table 3: Estimated Annual Economic Impact on the Town of Blacksburg and Montgomery County from the Ongoing Operation of Gilbert Street Mixed-use, Scenario 1 (2019 Dollars)

Economic Impact	Employment	Labor Income	Output
1st Round Direct Economic Activity	638	\$30,837,070	\$36,575,761
2nd Round Indirect and Induced Economic Activity	158	\$5,628,192	\$19,239,365
Total Economic Activity	796	\$36,465,262	\$55,815,126

ECONOMIC AND FISCAL IMPACT

Tax Revenue

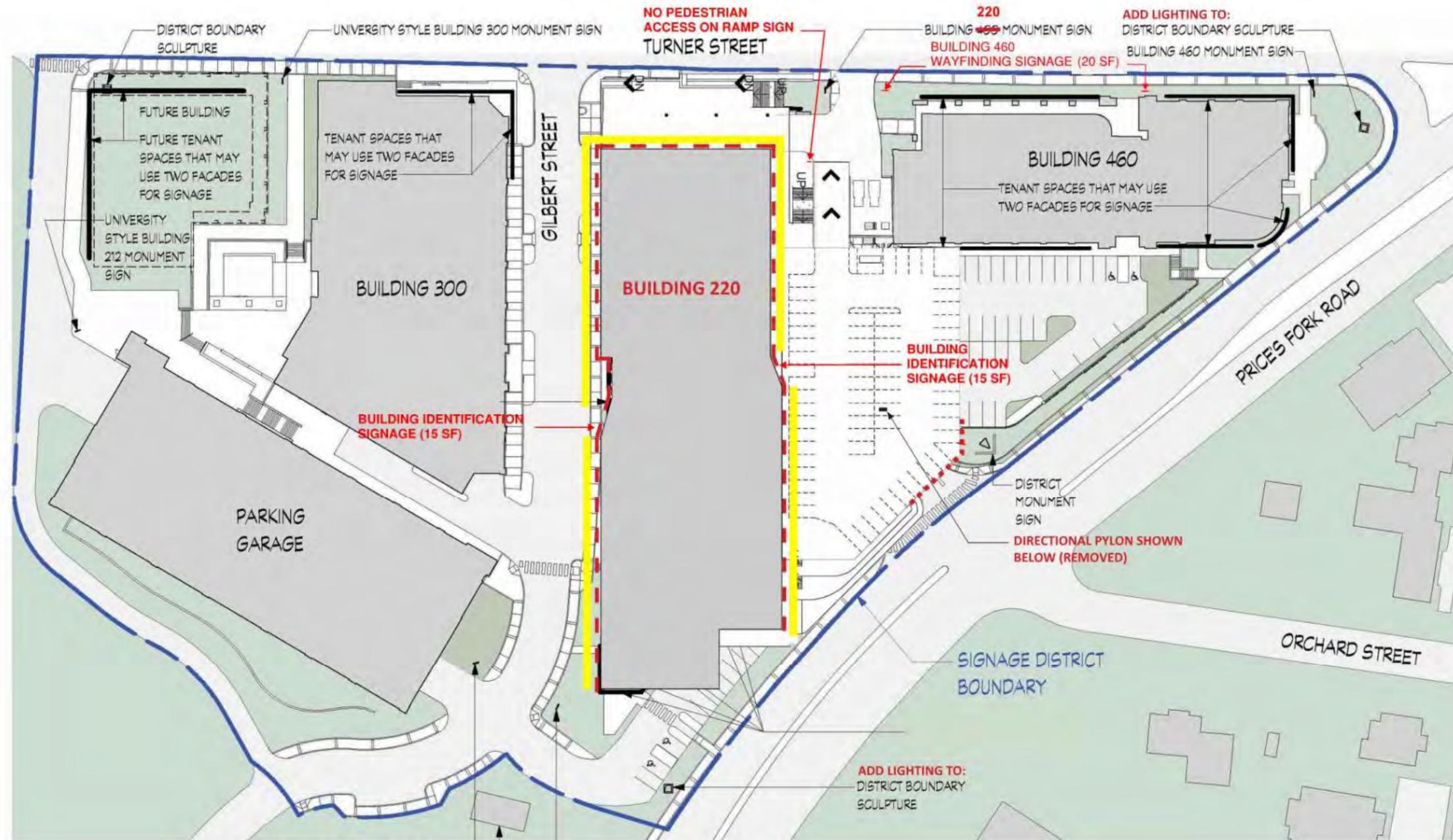
Table 4: Estimated Annual Town of Blacksburg Tax Revenue from Gilbert Street Mixed-Use Development at Full Build-Out (2019 dollars)

Revenue Source	Tax Base	Town Tax Rate	Town Tax Revenue	County Tax Rate	County Tax Revenue
Sales Tax¹⁸	\$14,714,988 in sales	0.11%	\$16,712	0.89%	\$130,438
Meals Tax	\$7,150,803 in sales	6.0%	\$429,048	4.0% ¹⁹	n/a
Lease-Hold Real Estate Tax²⁰	\$409,079 in year 1 (\$306,809 in year 10)	\$0.26/\$100	\$1,064 in year 1 (\$798 in year 10)	\$0.89/\$100	\$3,641 in year 1 (\$2,731 in year 10)
Business License Tax	\$14,714,988 in sales	\$0.20/\$100	\$29,430	n/a	n/a
Total in Year 1			\$476,254		\$134,079

4

**CHANGE OF ZONING CLASSIFICATION
FOR AMENDED SIGNAGE DISTRICT PLAN**

SIGNAGE DISTRICT PLAN



- BUILDING 212 MONUMENT SIGN
- ODD FELLOWS HALL
- ~~— DIRECTIONAL SIGN Pylon (REMOVED)~~
- TENANT SPACES THAT MAY USE TWO FACADES FOR SIGNAGE FOR FUTURE BUILDINGS
- SIGNAGE DISTRICT BOUNDARY
- SIGNAGE LOCATIONS PERMITTED BY ORDINANCE ~~1700~~ 1734 (NO CHANGE REQUESTED)
- SIGNAGE LOCATIONS REQUESTED IN THIS AMENDMENT TO ORDINANCE ~~1700~~ 1734 FOR EXISTING BUILDING
- SIGNAGE LOCATIONS REQUESTED IN THIS AMENDMENT TO ORDINANCE ~~1700~~ 1734 FOR FUTURE BUILDINGS

NORTH END SIGNAGE DISTRICT PLAN | 1.0

REVISED DATE: ~~05/01/19~~ 10/01/19

BENEFITS OF AMENDED SIGNAGE DISTRICT PLAN

Compatibility with Comprehensive Plan; Furthering Zoning Ordinance

- Enables Critical Visibility for Tenants
- Assists in Steering Pedestrians to the Property
- Promotes Compatibility and Consistency
- Enhancements to District Boundary Sculptures

