



EDEN & ASSOCIATES
engineering • architecture • development

Berewick

Located in the Northern Quadrant of Tom's Creek Road and
Redbud Road,
In the Town of Blacksburg, Virginia

Date: July 1, 2020

Berewick Planned Residential District Rezoning

Owner:

Lucas TCR, LLC
1999 South Main Street #500
Blacksburg, VA 24060

Submitted on behalf of Owner by the Applicant:

Meredith Jones, P.E.
Eden & Associates, P.C.
1800 Kraft Dr. Suite 111
Blacksburg, VA 24060

Berewick: Planned Residential District Rezoning

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**TOWN OF BLACKSBURG
CHANGE OF ZONING CLASSIFICATION APPLICATION (REZONE)**

This application and all accompanying information must be submitted in full before the Rezoning Request can be accepted by Town staff. Once the Planning and Building Department accepts the application, it will be referred to the Planning Commission and Town Council for consideration. The application and all accompanying information will become conditions of approval. Proffered conditions of approval are binding. Please contact the Planning and Building Department at (540) 961-1126 for application deadline or questions, or to schedule the **required** pre-submittal meeting.

The following items **MUST** accompany this application for the Town of Blacksburg to accept this application for processing and review. Any items submitted cannot be larger than 11x17 in size:

- 1) Written, signed consent of the property owner. If the applicant is the contract purchaser, the written consent of the property owner is required
- 2) One copy of a site plan with surveyed boundaries for the property showing the lot, existing and proposed structures, site improvements, parking areas and spaces, and any other information necessary to determine the ability to meet the Zoning Ordinance site development standards, Use & Design standards and physical compatibility with the neighborhood
- 3) Building elevations for all proposed buildings -or- elevations showing any changes to existing buildings
- 4) Vicinity map (may be included on the site plan) showing surrounding uses, zoning districts, buildings and other improvements within 300' of the property
- 5) Legal description of the property
- 6) Completed VDOT 527 (Traffic Impact Analysis) Form
- 7) A list of adjacent property owners (including properties across a street) and their addresses, plus the cost of CERTIFIED FIRST CLASS postage for notifying each adjacent property owner (no stamps, please)
- 8) Fee of \$100 for the Town of Blacksburg to post all public hearing signs. **Please note:** The applicant may choose to post the property, using signs provided by Town Staff, and not be subject to the posting fee
- 9) Fee of \$1500 for Rezoning, or \$2000 for Planned Residential Rezoning, or \$1000 for amendment to existing Planned Residential District. Please make your check or money order payable to the TOWN OF BLACKSBURG
- 10) Proof of pre-submittal meeting between Town staff and applicant/agent
- 11) Prior to the initiation of an application for Rezoning, or prior to the issuance of final approval, the applicant shall produce satisfactory evidence that any delinquent real estate taxes owed, which have been properly assessed against the subject property, have been paid (§ 1150)
- 12) Any applicant for a Rezoning shall make complete disclosure of the equitable ownership of the real estate to be affected including, in the case of corporate ownership, the names of stockholders, officers and directors, and in any case the names and addresses of all of the real parties of interest. The requirement of listing names of stockholders shall not apply to a corporation whose stock is traded on a national or local stock exchange, and which corporation has more than 500 shareholders (§ 1110)
- 13) Proffer statements that meet the requirements as stated below
- 14) Digital copies (PDF) of all application materials are required at the time of submittal, or within 10 working days of the submittal date.

SIGNATURE OF APPLICANT/CONTACT PERSON + PRINTED NAME:

Meredith Jones

DATE: 7/1/20

By signing this application, I affirm that this application is complete and all required items are included

SIGNATURE OF PROPERTY OWNER + PRINTED NAME:

James E. Lucas

JAMES E. LUCAS

DATE: 7/1/20

By signing this application, I affirm that this application is complete and all required items are included

Location or Address of Property for Rezoning:

Northern quadrant of intersection of Toms Creek and Redbud Roads

Tax Parcel Number(s): 006160

Acreage: 40.34

Present Zoning District: RR1

Proposed Zoning District: Planned Residential District

Present Use of Property: Farmland

Proposed Use of Property: Residential Subdivison (Single Family)

Is this request for an amendment to an existing Conditional Zoning or Planned Residential District? No

Previous Rezoning Ordinance Number -

APPLICANT/MAIN CONTACT PERSON (Contract Purchaser if applicable)

NAME: Meredith Jones, P.E. Eden and Associates, PC

ADDRESS: 1800 Kraft Drive Suite 111
Blacksburg VA 24060

PHONE: 540-250-6613 EMAIL: meredith@edenandassociates.com

PROPERTY OWNER(s) (If property is held in an LLC or other corporation, names of all partners must be disclosed. All names of members or beneficiaries of a trust must also be disclosed. Signature blocks for multiple property owners may be obtained on separate sheets if needed)

NAME: LUCAS TCR, LLC Members are James E. and Gail C. Lucas

ADDRESS: 1404 Honeysuckle Drive
Blacksburg VA 24060

PHONE: 540-230-7576 EMAIL: j.lucas@lucasappraisal.com

ENGINEER/ARCHITECT (optional)

NAME: Meredith Jones, Eden & Associates

ADDRESS: 1800 Kraft Dr. Suite 111
Blacksburg, VA 24060

PHONE: 540-250-6613 EMAIL: meredith@edenandassociates.com

DESCRIPTION OF REZONING REQUEST

Section 15.2-2286(A)(7) of the State Code of Virginia states that, " Whenever the public necessity, convenience, general welfare, or good zoning practice requires, the governing body may, by ordinance, amend, supplement, or change the regulations, district boundaries, or classifications of property. **It is the applicant's responsibility to provide a narrative outlining the following information in order to assess the public necessity, convenience, general welfare, or good zoning practice of the request (attach additional pages if necessary).**

Need and justification for the change in zoning classification **SEE FOLLOWING NARRATIVE**

Identify any anticipated effect of the proposed change on public services and facilities

SEE FOLLOWING NARRATIVE

Justify appropriateness of the property for the proposed change, as it relates to the intent of the zoning district requested and applicable use and design standards for all proposed uses

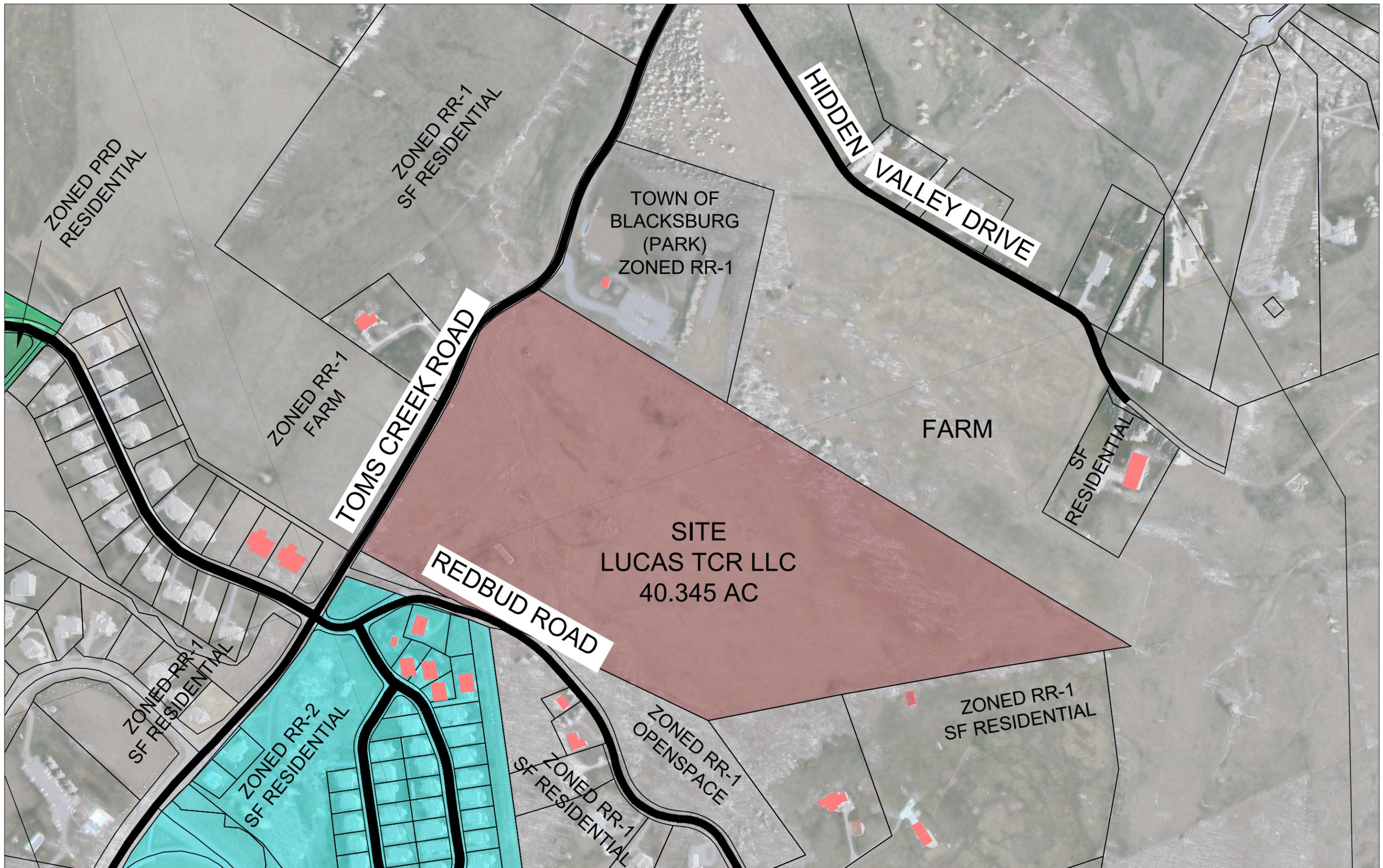
SEE FOLLOWING NARRATIVE

Relationship of the proposed change to the Comprehensive Plan (Include FLU designation)

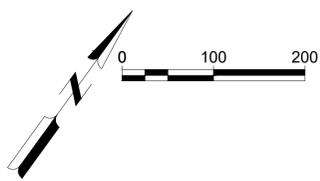
SEE FOLLOWING NARRATIVE

Way in which the proposed change will further the purposes of the Zoning Ordinance and general welfare of the community

SEE FOLLOWING NARRATIVE



BEREWICK VICINITY MAP



LINE TABLE		
LINE	BEARING	DISTANCE
L1	N37°00'30"W	33.50'
L2	N37°32'48"W	68.56'
L3	N38°25'32"W	87.04'
L4	N39°28'05"W	91.66'
L5	N39°48'13"W	122.36'
L6	N40°14'20"W	114.71'
L7	N42°34'24"W	108.52'
L8	N46°13'50"W	49.15'
L9	N48°46'00"W	99.80'
L10	N11°19'32"W	106.66'
L11	N12°37'37"W	57.16'

CURVE TABLE					
CURVE	RADIUS	ARC LENGTH	DELTA ANGLE	CHORD LENGTH	CHORD BEARING
C1	190.14'	124.25'	37°26'28"	122.05'	N30°02'46"W

EDEN & ASSOCIATES
 engineering • planning • development
 1800 KRAFT DRIVE, SUITE 111
 BLACKSBURG, VIRGINIA, 24060
 VOICE 276-632-6231
 FAX: 276-632-3648



No.	Revision / Issue	Date

PAUL BROWN
 Lic. No. 036148
 07/01/2020
 PROFESSIONAL ENGINEER, VIRGINIA

EXHIBIT FOR REZONING OVERALL DEVELOPMENT

PROPOSED DEVELOPMENT FOR
 LUCAS CONSTRUCTION AND DEVELOPMENT, INC.
BEREWICK
 PROPERTY OF LUCAS TCR, LLC
 PARCEL ID 006160; TM# 195-A-5; 40.345 ACRES
 PRICES FORK MAGISTERIAL DISTRICT
 TOWN OF BLACKSBURG, MONTGOMERY COUNTY, VA

Drawn By:	Scale:
PJB	AS SHOWN
Checked By:	Date:
MTJ	07-01-2020
Sheet No.	
1 of 1	Z1

Berewick: Planned Residential District Rezoning

Description of the Planned Residential Rezoning Narrative

Need and justification for the change in zoning classification

The Town of Blacksburg is rapidly being depleted of detached single-family building lots, due in part to the limited amount of available single-family detached residentially zoned acreage remaining within the town corporate limits which also possesses access to town water and sewer facilities. As a consequence, the number of single-family detached building lots within town has declined to its lowest point in decades, with only two moderate sized residential subdivisions currently approved and under construction, those being the 49 lot new phase in the Northside Park development and the 21 lot Kinloch subdivision. Our understanding is that all the lots in these two developments are already pre-sold.

This 40.345-acre tract, with frontage on Tom's Creek and Redbud Roads, is in a single-family residential neighborhood (adjacent to the RR-2 zoned Brookfield Village) and possesses access to both town water and sewer services. Its current RR-1 zoning classification does not allow development for a sufficient density to justify a single-family detached residential subdivision that would afford development of lots for (quite typically young) professionals and families, which represents the greatest residential housing need currently existing in the town of Blacksburg.

In addition to the above, the site includes good street access to the U.S. 460 interchange, situated within a third of a mile of the property, which will provide quick and direct access both east and west along this major highway link thereby lessening reliance for use of more congested secondary streets within the town to access major shopping and employment centers.

Identify any anticipated effect of the proposed change on public services and facilities

Rezoning of this 40.345 acre Tom's Creek Road property to Planned Residential would allow creation of a new off-road pedestrian and bike path that would allow linkage of the trail systems in the neighboring residential neighborhoods to reach the currently underused Blacksburg Tom's Creek Park ballfield and dog park complex without having to walk or bike within the road right-of-way, thereby increasing the park's accessibility to the surrounding neighborhoods. In addition, this proposed trail corridor is a component of the "Pathway to the Future" trail corridor identified in the town comprehensive plan for improving bike and pedestrian access to the Tom's Creek section of town.

This rezoning and proposed planned residential subdivision will provide planned access rights-of-ways both to the north and east of the property thereby providing future connectivity to these currently largely undeveloped areas for future development. Likewise, the planned STEP/STEG sewer facility to be installed by the developer will require no additional expense to the town given that it will link to the existing Brookfield pump station at the expense of the developer. The future residents of this planned development will be customers to the existing water system

Berewick: Planned Residential District Rezoning

that serves the Tom's Creek basin, which has adequate pressure and flow to handle the proposed subject development at its full buildout.

Finally, this rezoning would allow creation of a segment of the planned future pedestrian and bike path which would extend through the main drainage area of the subject property and eventually extend to other existing and future multi-use trails.

Justify appropriateness of the property for the proposed change, as it relates to the intent of the zoning district requested and applicable use and design for all proposed uses

The proposed zoning change to Planned Residential and the planned development that the rezoning would allow would create a needed new single-family detached residential neighborhood that would allow increased use and access to the adjacent Blacksburg Tom's Creek Park while providing scenic and quality open space amenities that could be enjoyed by the residents of the new development as well as the greater community, in that the planned new public trails would pass through the planned open space preserve. Employment of the Planned Residential rezoning will allow creation of a residential neighborhood which would not otherwise be feasible under the existing zoning classification.

Relationship of the proposed change to the Comprehensive Plan

The comprehensive plan and future land use map indicates that the subject property is in an area designated for very low density residential, but this was predicated on areas of the Tom's Creek basin where public sewer was not feasible nor anticipated and access was formerly from a very dangerous interchange at the U.S. 460 bypass intersection. However, like the Brookfield Village, Trillium Place and Village at Tom's Creek developments, all of which lie within 1/4 mile of the subject property, access to both town water and sewer is now feasible and access has been dramatically improved with the opening of the U.S. 460 Tom's Creek Road interchange. Two of these three neighboring developments required rezoning to a higher residential density, while the third was developed into larger estate type lots, all of which were approved prior to the opening of the U.S. 460 interchange overpass.

The comprehensive plan addresses the need for more single-family detached home sites to meet the growing demand and need for such homes within the town limits for those who already work within the town or seek employment at establishments within the town. The comprehensive plan also calls for connectivity of sections of the town currently lacking in trail paths. The planned rezoning would help address these housing and trail needs existing in Blacksburg.

The existing RR-1 zoning classification favors a large lot subdivision scenario that would divide the site into perhaps ten or so large lots employing individual driveways on which large manor homes would be developed. Although there is some market for a development of this type, such a scenario would not be addressing the town's current need for more reasonably priced single-family homes and lots.

Berewick: Planned Residential District Rezoning

In terms of supporting Comp Plan policies, the planned rezoned development would advance creation of a sustainable community by utilizing existing town utilities located adjacent to compatible residential communities on a major street corridor with good access to the U.S. 460 bypass and will be providing a new trail system that will link to the existing trail/sidewalk system that leads across the U.S. 460 by-pass and southeast to the commercial corridor on University Blvd as well as west to the existing Blacksburg Tom's Creek park facility, the latter of which currently has no-off street access. The planned 2.1- units per acre corresponds well to the neighboring average 2 units per acre density in the adjacent residential neighborhoods.

The above noted trail improvements also address components in the Parks & Recreation section of the Comp Plan by providing bike and pedestrian linkage to the neighboring Brookfield/ Trillium/ Village at Tom's Creek communities west to the town's Tom's Creek Park, which currently has only on-street access, and thereby less used by residents of these communities.

In terms of the Environment section of the Comprehensive plan, the planned development will be placing the majority of the designated creek valley overlay area within its designated permanent open space preserve, with the only development within creek valley overlay area to be the paved 10-foot wide pedestrian/ bike trail and the one main development access street. There will also be no development within the designated 100-year floodplain other than the multi-use trail. 35% of the entire site will be placed in a permanent open space classification to be maintained by a homeowner association.

Provision of the planned new pedestrian and bikeway trail system will encourage residents of both this development as well as neighboring communities to use alternative transportation for accessing the neighboring Blacksburg Tom's Creek Park and for connectivity across the bypass for the subject development, which lies within moderate walking distance of the BT bus stop on Tom's Creek Road.

In terms of the Transportation section of the Comp Plan, the planned development will be providing sidewalks, connecting trails, paths to the future, ADA accessibility throughout the neighborhood, along with abundant street trees.

In terms of the Health section of the Comp Plan, the planned development will encourage a more active lifestyle by providing trails and sidewalks internally and to off-site areas including the neighboring town ballfield, picnic area and dog park and to the north/ south connector trail through adjacent neighborhoods.

Berewick: Planned Residential District Rezoning

Way in which the proposed change will further the purposes of the Zoning Ordinance and general welfare of the community

The zoning ordinance addresses appropriate uses for specific areas of the town where infrastructure is present and needed development can best be accommodated. The subject property as indicated earlier has access to both town water and sewer, lies within 0.2 to 0.3 mile of the east and west on ramps to U.S. 460 bypass and allows a direct access into the VA Tech campus via Tom's Creek Road and the U.S. 460 bypass. The subject site lies within 1.3 miles of the Virginia Tech campus via Tom's Creek Road and 1.35 miles of the University City Shopping Mall via Tom's Creek Road and University City Blvd.

The subject's current RR-1 zoning classification reflects the past rural agricultural use of the site and the basin's more limited accessibility sewer availability. The RR-1 zoning classification is no longer reflective of the site's current development potential.

Regarding how the rezoning would advance the general welfare of the community, the planned development of the subject site will provide a new public trail connection to the town park for the greater community while providing much needed homes for families wanting to live in Blacksburg, including young professionals working in the ever growing CRC, Blacksburg Industrial Park and Virginia Tech, significantly enhancing the welfare of the community. The planned development is also avoiding having any part of by-right lots encompassing portions of the Creek Valley Overlay District by placing this area in a permanent conservation area to be owned and managed by a homeowners association, thus further protecting wetlands and water quality of the Tom's Creek basin.

Berewick: Planned Residential District Rezoning

Proffer Statement

1. The Property shall develop the Berewick community in general conformance with the rezoning package titled, “Berewick Planned Residential District and Rezoning” dated July 1, 2020 including the concept plan showing a maximum of 84 lots with a minimum of 35% open space.
2. Landscaping shall be installed throughout the development in general conformance with the Landscape Exhibit with the following minimums:
 - a. A minimum of 280 Deciduous trees will line the streets and creek banks shown in general conformance with the Landscape Exhibit included below and in the Appendix. These include those trees listed below in the Front yards section.
 - b. A minimum of 157 screening trees, such as pines or Leyland cypress will be included around the perimeter of lots, the floodplain, and the boundary generally as shown on the Landscape Exhibit.
 - c. A minimum of 743 shrubs will be scattered throughout the development open space for slope stabilization and aesthetics as well as on individual lots as described below in the Front Yards section.
 - d. Types of trees shown in the General landscaping exhibit are examples, but may be changed in design to include equal canopy totals.
3. Building commitment to sustainability for energy efficiency, resource consumption, and healthy living in homes. The homes at Berewick will use high efficiency heating and cooling equipment and adhere to stringent standards for sealing and insulating homes. The homes will include insulated exterior doors and Energy Star qualified windows, with extensive air seal caulking around the windows, doors, and sill plates. Comprehensive insulation is used in attics (R-38), walls (R-15), and basements (R-11). Homes in Berewick will be served by natural gas. Each home will have natural gas furnaces with a 95% efficiency rating, utilize electronic zone damper technology, which automatically directs conditioned air to the areas of the home where it is most needed, and be served with tankless water heaters. Custom calculations are completed for each home to ensure the proper sizing of the HVAC system. All ductwork is engineered to fit within the thermal building envelope, and the joints are sealed to ensure efficiency. Air leakage tests performed on each home verify that peak efficiency is achieved. These products ensure comfort, low energy bills, and minimal environment impact. Homes will have insulated and conditioned basements, whether those spaces are finished or unfinished. Installation of ventilation systems that incorporate fresh air into the home all year long will be standard practice. Energy-saving LED lightbulbs will be installed in all recessed lights throughout the home. All kitchens include Energy Star appliances, and all bathrooms are equipped with low-flow toilets that conserve water.
4. Applicant will make sewer force main connection from the new STEP/STEG lift station to the Brookfield force main downstream from the station. If this is not feasible from an engineering standpoint, then the applicant will upgrade the Brookfield pump station as necessary to accommodate peak flows from the development. If neither of these are acceptable to the Town, the applicant will examine a connection of the force main to the Village at Tom’s Creek where the gravity line connects at Redbud Rd. and Village Way North which drains to lift station 2 and is pumped to the Sturbridge Square pump station.

Berewick: Planned Residential District Rezoning

5. Applicant shall construct a minimum twenty (20) by twenty (20) foot picnic shelter on the development property as shown on the concept plan, to be dedicated to the Town of Blacksburg for its use by Town citizens. The development shall share the use of the shelter with the Town to be worked out by memorandum during design.

PROFFERED CONDITIONS

Potential proffers can be discussed as part of the presubmittal meeting, and should also be a part of the discussions with staff early in the review process.

PROFFERED CONDITIONS, IF ANY, MUST:

- 1) Be prepared by an attorney and be completed and accepted by the Town prior to the advertising for the Planning Commission Public Hearing;
- 2) Have a reasonable relationship to the rezoning;
- 3) Not include a cash contribution to the Town;
- 4) Not include mandatory dedication of property; and
- 5) Not include payment for construction of off-site improvements. The rezoning must give rise to the need for the conditions and the conditions must be related to the physical development or physical operation of the property and be in conformity with the Comprehensive Plan

Attach proffer statement with application.

OWNER CONSENT STATEMENT

I/We the owner(s)/applicant/contract purchaser(s) of the property described on this application do hereby apply for a change of zoning district classification described on this application.

I/We state that no application for a change in zoning district classification, substantially the same as this request, has been considered by the Town Council for the above-referenced property, or any part thereof, within one year prior to the date of this application.

James E. Lucas, Member, Lucas TCR, LLC

 SIGNATURE OF OWNER/APPLICANT

7/1/20

 DATE

Berewick: Planned Residential District Rezoning
Traffic Impact Analysis Form

January 1, 2012

OFFICE USE ONLY	
Date Received:	_____
RZN#	_____
CUP#	_____

**TOWN OF BLACKSBURG
VDOT TRAFFIC IMPACT ANALYSIS (TIA) SUPPLEMENTAL APPLICATION**

This application, appropriate fee, and accompanying documentation must be submitted in conjunction with the corresponding rezoning, conditional use permit, or comprehensive plan amendment before any application can be reviewed by staff. If you have any questions, please contact the Planning and Building Department.

Name of Development: **Berewick**
Address/Location: **across from 1901 Toms Creek Road**
Tax Map Parcel: **195-A 5**
Size of Site: **40.345 acres**
Proposed Use: **Single Family Residential**
Current Zoning District: **RR-1**
Existing Future Land Use Classification: **Very Low Density Residential**

This application is submitted in conjunction with a
 Rezoning Application. Proposed Zoning District: **Planned Residential District (PRD)**
 Conditional Use Permit Application. Proposed Conditional Use: _____
 Comprehensive Plan Amendment. Proposed Future Land Use: _____

This is the first, second, third or subsequent submission of the TIA for review by VDOT.

A traffic impact analysis is is not required for the proposed project:

- Yes or No, the site is located **1,440** feet along the vehicle path of traffic which is less than 3,000 feet from VDOT maintained roadways, or is within 3,000 feet of a non-limited access state controlled highway, or is within 3,000 feet of a connection to a state limited access highway.
- If the answer to question #1 is Yes, complete the following:
 - Yes or No, the proposed development generates **847** vpd which is greater than the VDOT requirement of 5,000 vehicles per day.
- Yes or No, the proposed comprehensive plan amendment results in substantial impact of 5,000 additional vehicle trips per day or results in substantial changes to the existing transportation network and infrastructure of state controlled highways.
- No, a new TIA study is not required because a previously submitted TIA is still applicable for the project site. (Note: the appropriate documentation must be attached to this application)
- Yes or No, a VDOT Scope of work meeting has been held.

If a TIA is required, please provide the following information:

Name of Property Owner(s): **Lucas TCR LLC (Jim Lucas)**
Address: **1404 Honeysuckle Drive, Blacksburg, VA 24060**
Phone: _____ Fax: _____
Email address: **jlucas@lucasappraisal.com**

Berewick: Planned Residential District Rezoning

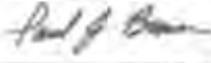
Applicant to whom review comments will be sent: Paul Brown
Address: 1800 Kraft Drive, Suite 111, Blacksburg, VA 24060
Phone: (540) 797-1250
Email address: paul@edenandassociates.com

Project Engineer who prepared TIA (if different from applicant): Same as Applicant
Address: _____
Phone: _____ Fax: _____
Email address: _____

Please check all applicable boxes of information submitted with this application:

1. **Review Fee Check made payable to VDOT for**
First, Second or Third review by VDOT
 - Rezoning or Conditional Use Permit request
 - Low volume road submission 24VAC30-155-40 A 3: \$250
 - All other submissions: \$1000
 - Comprehensive Plan Amendments: \$1000
2. **For the Town of Blacksburg, please provide a digital submission of the following:**
 - a. **One signed copy** of the Town's VDOT Supplemental TIA application.
 - b. **One complete copy** of the TIA submitted to VDOT including a completed checklist of information and signed scope of work meeting agreement.
 - c. **One copy** of the VDOT review fee check.
 - d. **One copy** of letter and supporting information documenting why a new or updated TIA is not required for this project.
3. **For VDOT, three paper copies** of the complete Traffic Impact Analysis. Forms and additional information can be found at <http://www.virginiadot.org/projects/chapter527/default.asp>

By signing below, I acknowledge that all information on this application and included in the supporting documentation is correct and accurate, and has been prepared by an appropriate licensed professional.

SIGNATURE OF APPLICANT:  Date: 7-1-2020

For Staff Use Only:	
<input type="checkbox"/> First Submission <input type="checkbox"/> Second Submission <input type="checkbox"/> Third or Subsequent Submission	
Reviewed and Accepted as complete by _____	Date _____
TIA forwarded to VDOT by _____	Date _____
Rejected by _____	Date _____
Reason for rejection: _____	
<p><i>Town of Blacksburg, Planning & Building Department</i> 300 South Main Street • PO Box 90003, Blacksburg, VA 24060-9003 Phone: (540) 951-1126 • Fax: (540) 951-0672 • www.blacksburg.gov</p>	

Berewick: Planned Residential District Rezoning

List of Adjacent Property Owners

PARCEL ID	TAX MAP ID	OWNER1	SITE ADDRESS	MAILING ADDRESS	ACRES
70027	195- A 2	BLACKSBURG TOWN OF	2100 TOMS CREEK RD BLACKSBURG, VA 24060		9.326
35929	195- 3 A	JENNINGS DWAYNE J JENNINGS JANET B		919 REDBUD RD BLACKSBURG VA 24060	4.421
34416	195- 2 D	TOWN OF BLACKSBURG	1225 BROOK CIR BLACKSBURG, VA 24060		10.059
29103	195- 1 1A	WHITTIER WILLIAM DEE WHITTIER MARY LOU	806 REDBUD RD BLACKSBURG, VA 24060	806 REDBUD RD BLACKSBURG VA 24060	15.172
8658	165- A 7	HIDDEN VALLEY C/O R L TURNER		800 S MAIN ST BLACKSBURG VA 24060	27.334
8655	165- A 10	HIDDEN VALLEY C/O R L TURNER		800 S MAIN ST BLACKSBURG VA 24060	51.3
604	195- 1 1	ANDERSON JOHN ERIC ANDERSON JOANNE M	810 REDBUD RD BLACKSBURG, VA 24060	810 REDBUD RD BLACKSBURG VA 24060	5.173
Across Street					
15193	195- A 3	MATHENA LARRY RANDOLPH MATHENA ELLEN COOPER		1901 TOMS CREEK RD BLACKSBURG VA 24060	24.11
11986	195- A 4	MATHENA LARRY RANDOLPH MATHENA ELLEN C	1901 TOMS CREEK RD BLACKSBURG, VA 24060	1901 TOMS CREEK RD BLACKSBURG VA 24060	1.79
543	194- A 17	ALLEN FAMILY FARM LLC	2710 SPRING HOLLOW LN BLACKSBURG, VA 24060	2710 SPRING HOLLOW LN BLACKSBURG VA 24060	140.427

Berewick: Planned Residential District Rezoning

1800 Krait Dr. Suite 111
Blacksburg, Virginia 24060
www.edenandassociates.com



Phone: 540-253-6611
maredith@edenandassociates.com

June 30, 2020

RE: Pre-application Meeting

Kinsey O'Shea, *AICP, ENR SP*
Town Planner, Current Planning and
Development Administration
Town of Blacksburg Planning & Building
400 South Main St.
Blacksburg, VA 24060

Dear Mrs. O'Shea,

Please accept this letter as proof of a pre-application meeting that was held on Zoom with staff on May 5, 2020. Additional pre-application meetings were held with engineering staff and planning staff starting on April 23rd and throughout May and June to discuss and follow up on the project.

Sincerely,

A handwritten signature in dark ink that reads 'Meredith Jones'. The signature is written in a cursive, flowing style.

Meredith Jones, Vice president, P.E.
Eden & Associates P.C.

Page 1 of 1

Berewick: Planned Residential District Rezoning

District Rezoning Regulations and Features

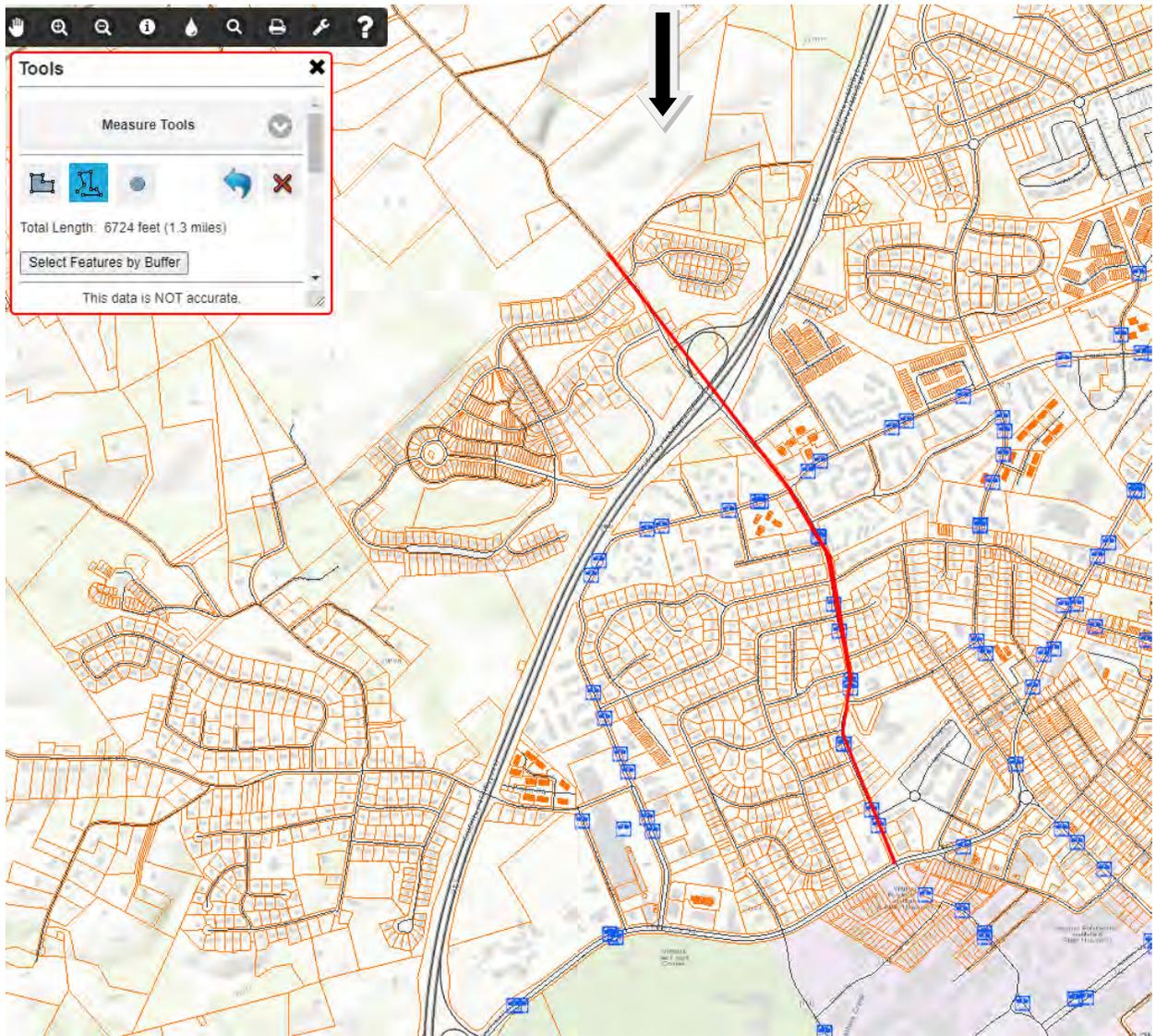
Purpose:

The purpose of this Planned Residential District is to use creativity in design to provide for 84 single family detached housing lots on a rural scale surrounded by forestal and open space lands while locating its residents in close proximity to the Town's existing urban fabric and parks and recreational amenities. The development is designed as an "open community" prepared to share its active and passive recreation opportunities with all Town citizens. The confluence of two tributaries for Tom's Creek are a remarkable feature of the property that will be enhanced over time for all those visiting and living within the development to enjoy. Smart location, in combination with the efficient use of land, will result in reduced development costs allowing for home-ownership to a wider portion of the market. Other goals of the development include:

- To promote sustainable living by locating residents near the Town's existing core including jobs, retail opportunities, and major road connectivity.
- To provide new opportunities for home ownership to a wider portion of the market by efficiently installing lots along new and existing infrastructure.
- Conservation of natural resources including wetlands, floodplains, natural drainage ways, aquifer recharge areas, existing tree cover, steep slopes adjacent to floodways, and creek valleys.
- Conservation of unified open space area as passive recreation.
- Encouraging native vegetation along the creek corridor which will give way to new habitats and provide for wildlife.
- To complete the trail connection for Town citizens biking or walking across 460 from Town thus providing a safe regional access to the Town's dog park and ballfield.
- To provide a network of trails for the adjacent existing neighborhood residents to enjoy and safely travel to and from the Town park through conserved creek valley areas.
- To provide for a development that will promote utilization of existing Town investment in infrastructure such as water, sewer, roads, parks and recreation amenities.
- To add to the real estate tax base in Blacksburg
- To reduce consumption of resources and burning of fossil fuels by locating 85 homes in Town, on existing infrastructure, closer to their jobs and recreation destinations, rather than in the County.

Vicinity Map: 6,700' to camps/downtown

Berwick: Planned Residential District Rezoning



Berwick Concept Plan

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- Roof-mounted solar panels. The height of solar panels attached to the roof of the principal or accessory building shall not exceed 5 feet above the highest point of the roof of the building on which it is installed.
- Ground-mounted solar panels. Ground Mounted Solar Panels must meet the principal building setback requirements.
- other uses and structures that the zoning administrator finds similar in scope, size, and impact

Site Development Regulations

Density: total of 84 lots

Maximum density shall be 2.08 Units per acre. Accessory apartments shall not be considered in the density calculation

Minimum Lot Requirements:

Area: no minimum lot size

Minimum frontage: Twenty (20) feet on a publicly owned and maintained street.

Minimum Setback Requirements: Principal Structures

Front Yard:

For lots adjoining local streets: fifteen (15) feet,

For lots adjoining collector roads: sixty (60) feet from centerline of collector

Side Yard:

Non-corner lots: seven and one-half (7.5) feet.

For corner lots, where a side yard fronts a local street: fifteen (15) feet

For corner lots, where a side yard fronts a collector street: sixty (60) feet from centerline of collector.

Rear Yard:

For lots on the perimeter boundary: twenty (25) feet

For all other lots including corner lots: ten (10) feet.

Accessory Structure Requirements:

Location:

Must be located behind the front building line

Setbacks:

Three (3) feet from a lot line (sheds) and ten (10) for all other structures.

Size:

The cumulative area of all accessory buildings or structures, excluding swimming pools and pool enclosures, shall not exceed fifty (50) percent of

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the square foot area of the principal structure. Only private residential swimming pools are permitted.

Maximum height of structures shall be Thirty-five (35) feet. Utility poles may have a maximum height of forty-five (45) feet.

Maximum coverage

Lot coverage:

Shall be sixty (60) percent for lots under 9,000 sq feet.

Shall be fifty (50) percent for lots between 10,000 sq feet and 15,000 sq feet

Shall be forty (35) percent for lots larger than 15,000 sq feet

Floor Area Ratio:

1.0 for lots under 10,000 sq feet

0.6 for lots between 10,000 sq feet and 15,000 sq ft.

0.4 for lots larger than 15,000 sq. feet

Paved Driveways and off street parking between the front face of the structure and property line must have, at any point, a maximum width of (18) feet if the lot width is less than fifty (50) feet and a maximum width of (20) feet if the lot width is fifty (50) feet or greater.

Parking: all lots containing garages shall provide for one (1) additional off-street parking space. Lots without a garage shall provide for two (2) off-street parking spaces.

Maximum dwelling unit occupancy shall be a family plus two (2) persons unrelated to the family; or no more than three (3) unrelated persons. For a detached single-family dwelling with an accessory apartment if allowed through the accessory apartment permit program, occupancy shall be calculated cumulatively.

Open Space shall be a minimum of thirty-two (35) percent. The minimum for a Town PRD is 20%.

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Compatibility with Surrounding Neighborhood

Zoning Requirement	Berewick PRD	RR-1	Brookfield Village RR-2
Maximum Density	2.11 unit/ac	1 unit/ac	1.91 unit/ac
Minimum Lot Frontage	20 feet	20 feet	20 feet
Minimum Setbacks:			
front	15/*60 feet	8/13 (based on height)/*60feet	13 feet
side	7.5 feet/**15	10/**20 feet	7 feet 3 feet accessory
rear	10 feet interior 25 feet perimeter	20 feet	20 feet 3 feet accessory
Height	35 feet	35 feet	N/A
Maximum Lot coverage	35-60%	N/A	40%

*from centerline on collector roads

**corner lot side yard facing street

As the chart above indicates, the maximum density is similar to that of Brookfield Village and although not shown above, also of the Village at Tom’s Creek PRD across the street. However, in trying to respect the rural character of the Tom’s Creek Basin, other zoning requirements remain similar to that of the underlying zoning, the RR-1.

Transportation Circulation

Road Network:

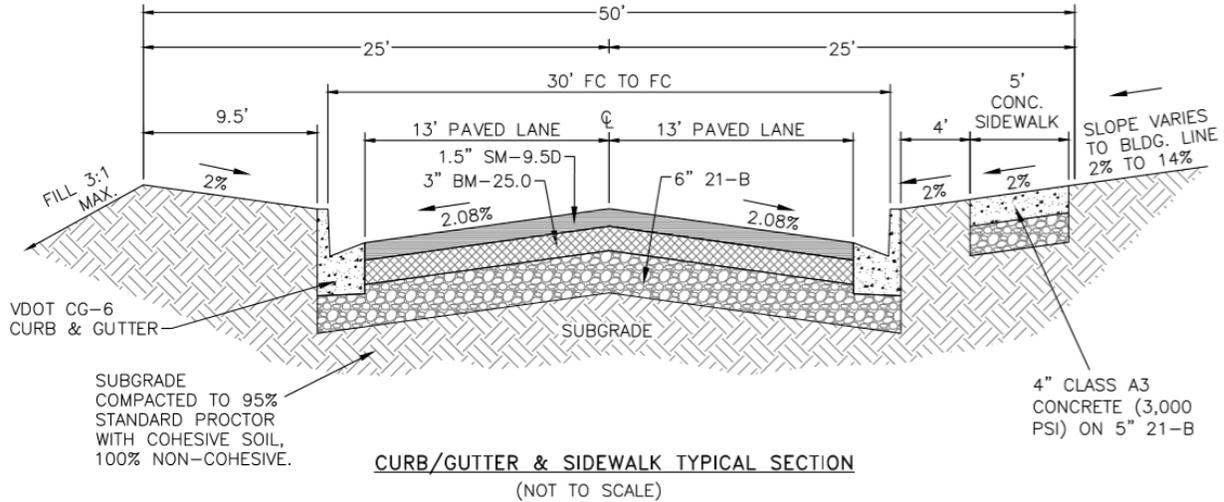
The proposed development includes a new roadway connection to Tom’s Creek Road, between the intersection of “Tom’s Creek Road & Redbud Road” and the existing access to Tom’s Creek Park, on the eastern side of Tom’s Creek Road. Eighty (79) lots will utilize the proposed roadway network. Five (5) proposed lots will have direct access to Redbud Road, adjacent to Brookfield Village.

The development is uniquely situated close to the existing interchange of Tom’s Creek and U.S. 460 Bypass which gives future residents of the development in-Town and out-of-Town access to adequate road systems. In addition to allowing residents direct access to vehicular travel, the project proposes to connect to the existing sidewalk/trail system at the 460 crossing on Tom’s Creek, encouraging residents’ use of alternative modes of transportation into Town. That is discussed further below.

The project’s internal roadway network will consist of just under four thousand feet of new thirty-foot wide road with curb and gutter and sidewalks provided. Road “A” and Road “B” form the two main roads through the community which also provide access to two cul-de-sacs.

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While the terrain is challenging, the project intends to meet the Town Code with a maximum road grade of 10% or less. Consequently, the single crossing of the Tom's Creek tributary must remain at a higher elevation to accommodate the vertical curve required on Road A and to meet with the proper landing for its main intersection with Tom's Creek Road.



NOTES:

1. TYPICAL SECTION IS FOR ROADS "A", "B", AND "C", EXCLUDING CUL-DE-SACS.
2. SIDEWALK IS LOCATED EITHER "RIGHT" OR "LEFT" OF CENTERLINE AS DEPICTED.
3. ROAD "A", STATION 0+25 TO STATION 4+60, INCLUDES 10' ASPHALT TRAIL IN LIEU OF 5' SIDEWALK.
4. PAVEMENT SECTION IS BASED ON A DESIGN CBR OF 4 WITH GREATER THAN 400 ADT.
5. ROAD "B", STATION 29+50 TO STATION 36+10 MAY HAVE A REDUCED PAVEMENT SECTION INCLUDING 6" 21-B STONE AND 2" SM-9.5D ASPHALT SURFACE AS ADT IS LESS THAN 400 ADT.
6. ROADWAY DESIGN SPEED IS 25 MPH. ROADWAY CLASSIFICATION IS LOCAL STREET WITH PARKING ON ONE SIDE.

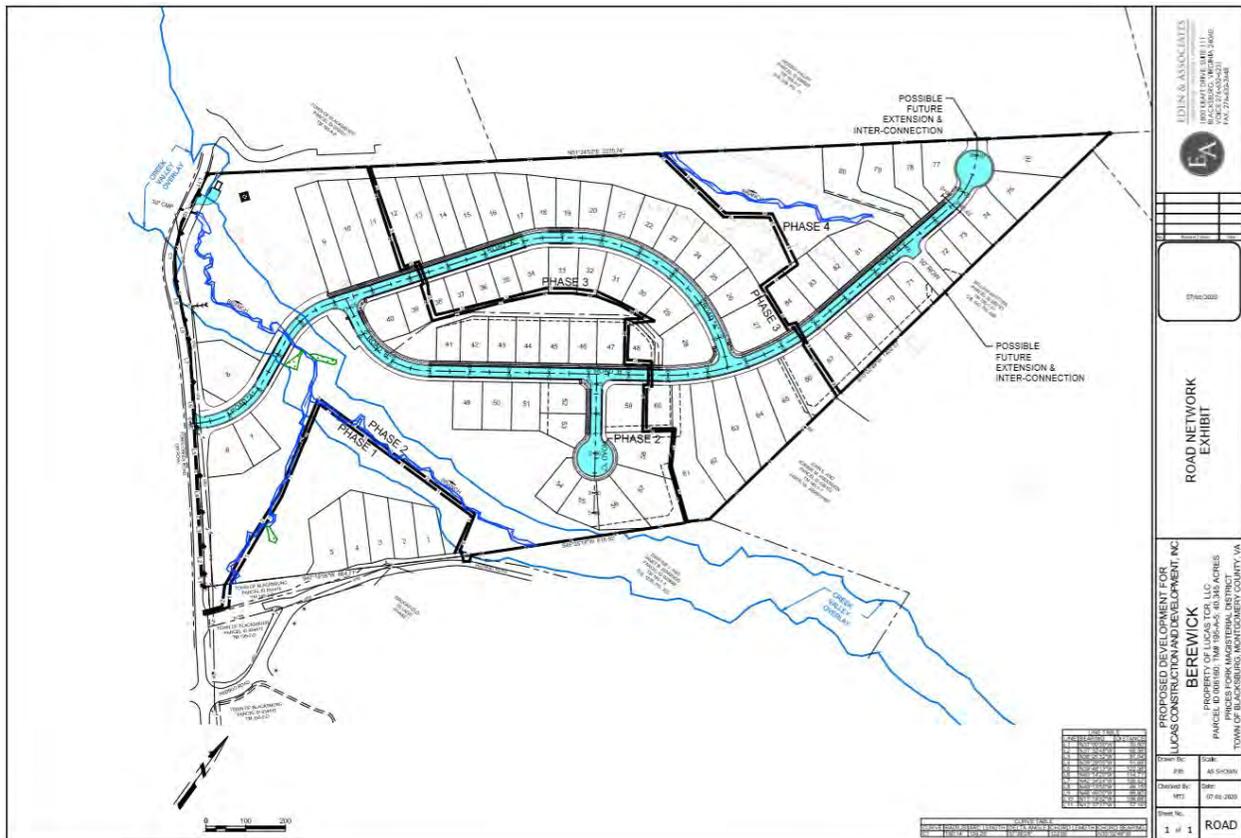
Tom's Creek Road is a two-lane, undivided roadway that provides north / south access from US 460 Bypass to Laurel Drive, becoming Meadowbrook Drive and providing access to Glade Road. The proposed street network will connect to Tom's Creek Road and ultimately extend to two undeveloped properties, Tax Parcels 165-A-7 and 195-1-1A, by means of dedicated right-of-way connections to the adjacent properties. Since the site has limiting environmental factors relative to two tributaries flowing to Tom's Creek, the proposed development proposes a single crossing of a tributary, thus limiting the immediate ability to connect to other existing roadways. The extension to undeveloped properties provides for potential "second connections" without additional crossing of tributaries. Extension of the roadway network by others could ultimately connect the road network to Hidden Valley Drive and/or to Redbud Road in the future. The proposed roadway network meets the requirements of the Virginia Department of Transportation relative to extension to undeveloped properties.

Tom's Creek Road currently does not have 50' right of way. The development is dedicating the required right of way of 25' from the roadway centerline. In the same conveyance, the development is dedicating additional right of way for the planned trail construction along Tom's Creek Road in Phase 2 and the future construction of a trail

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toward the Park. The dedication is a variable width but is a minimum of 18' and ranges from 18' to 25'. The total dedication along Tom's Creek Road is 0.519 acres

The proposed crossing of the tributary to Tom's Creek is designed to insure the 100-year flow does not overtop the roadway, the impacts to floodwaters do not impact upstream properties, and the flood elevation of waters crossing Tom's Creek Road is not increased. The flooding of Tom's Creek is a current issue discussed below in the Stormwater section. However, as to not increase the number of vehicles using the portion of Tom's Creek Road in the flooded area, a road connection to the development was not located in the vicinity. Furthermore, since the disturbance of wetlands is limited to less than 300' by the Corps of Engineers and DEQ, only one crossing can be accommodated for the development.



Traffic Impact Analysis:

The proposed development, utilizing a new connection to Tom's Creek Road for seventy-nine (79) proposed lots is positioned with adequate intersection sight distance along Tom's Creek Road. The proposed development does not warrant any additional right turn lane / taper or left turn lane. The proposed intersection is adequate into the

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foreseeable future, as traffic could increase by an additional 50% prior to any right turn taper being warranted. Traffic would need to increase to four times the anticipated traffic patterns to warrant a left turn lane.

The proposed five (5) lots along Redbud Road has little impact to the intersection of Redbud Road and Tom's Creek Road. The existing roadway serves fifty-five dwellings / lots. The existing traffic at the intersection of Redbud Road and Tom's Creek Road can easily accommodate the traffic from five additional lots.

The total proposed development has no significant impact to the signalized intersection at US 460 Bypass and Tom's Creek Road. This development introduces additional traffic to the signal but does not degrade the overall Level of Service below LOS C. The total proposed development has no significant impact to the signalized intersection at Tom's Creek Road / Patrick Henry Drive / University City Boulevard. A full traffic impact analysis has been included to the staff in a "Traffic Impact Analysis: Berewick" Narrative Dated July 1, 2020 prepared by Eden & Associates, P.C.

In addition to allowing residents direct access to vehicular travel, the project proposes to connect to the existing sidewalk/trail system at the 460 crossing on Tom's Creek, encouraging residents' use of alternative modes of transportation into Town

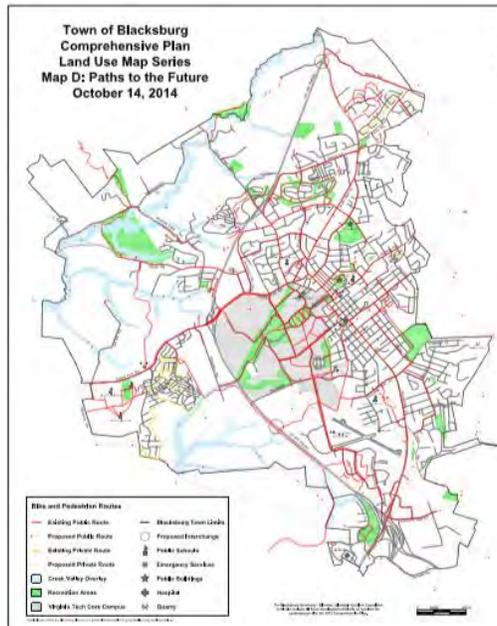
Bicycle and Pedestrian Circulation:

This development is providing over 3400 linear feet of sidewalk and over 3400 linear feet of trail for its residents and the citizens of Blacksburg. The community design has put an emphasis on connectivity for alternative transportation modes within the development as well as through the development for external users. Pedestrians and bicyclists from the development will be able to leave the development, cross 460, and access downtown and campus entirely on off-road trails or sidewalks. Certainly, this will encourage alternative means of transportation for residents from the development. Similarly, bicyclists and pedestrians from across 460 and adjacent neighborhoods will be able to access the Tom's Creek park on an off-road trail which runs along Tom's Creek Road and then through the development. This provides a much safer route for people, especially children, to safely access the park that is currently only accessible safely by automobile on Tom's Creek Rd. In the absence of being able to provide significant flood reduction with the project, it has remained a project goal not to exacerbate the problem where floodwaters cross Tom's Creek Road currently. For this reason, the project design does not propose access nor a trail at this location.

The "Paths to the Future" map in the Comprehensive Plan, as shown below, plans for a tributary greenway that is achieved through traversing the creek with the trail shown on the "Trails and Recreational Opportunities map". Someday, this will provide external users to the east and the west to ride the length of the creek on the greenway.

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Paths to the future map excerpt, Town of Blacksburg Comprehensive Plan



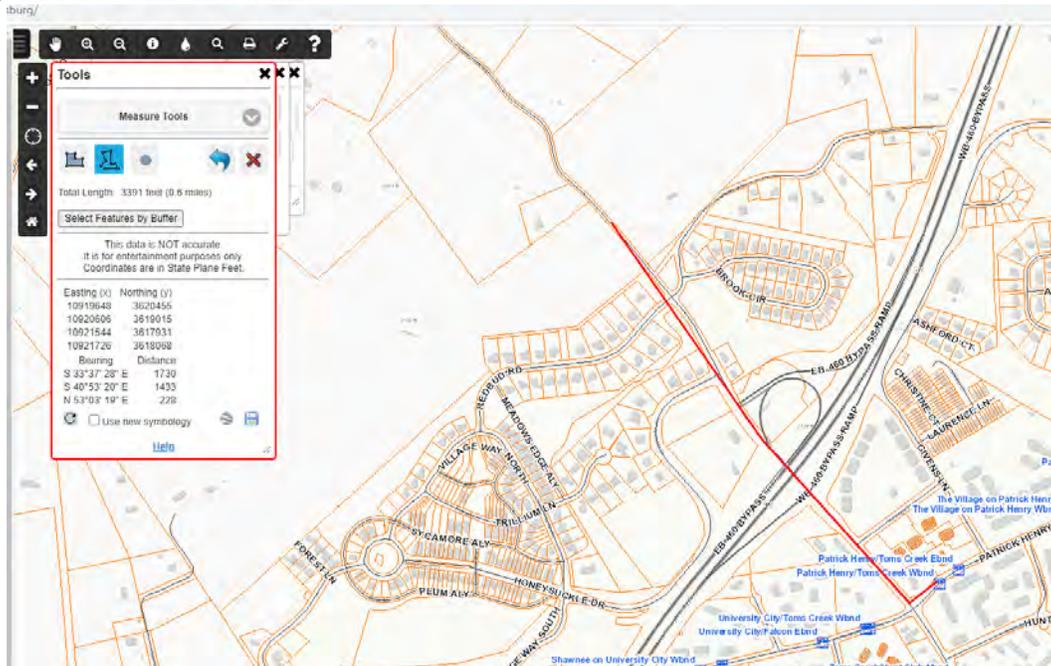
Internally, trails interconnect all open space areas, the roadways, and its system of sidewalks. Opportunities for walking on surfaces with handicap accessibilities exist as well as a more natural walk to the creek, around the development, or through mature forested areas. Handicap ramps will be provided at all intersections of sidewalks and trails with the road and at crossings. Pedestrian crossing markings will be provided on Road “A” where the 10’ wide trail crosses, and at its intersections with Road “B” where the sidewalk crosses the road.

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Guest parking will be provided for along the 30' wide roads, which should be adequate to accommodate parking on one side. Each lot must accommodate parking spaces by either providing a garage and one additional driveway space, or if no garage exists then the lot must provide two driveway spaces.

Alternative Transportation:

As this area is largely rural, bus service is not available to the development. However, the closest existing bus stop is at the intersection of Patrick Henry/University City Boulevard, and Tom's Creek Rd. which is only 0.6 miles from the entrance of the new community. This is relatively close compared to most single-family residential neighborhoods in Town. Again, residents will be able to access the stops along Patrick Henry and University City Boulevard entirely on sidewalks and trails.



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Sewer:

The project is proposing to use the Septic Tank Effluent Pumping/Gravity (STEP/STEG) System that is required for this area. The project proposes to maximize STEG tanks where possible; however, through the design process it may be required to have additional units covered with STEP (pump) tanks on a temporary or permanent basis.

All homes will drain by gravity from its lowest floor to a tank. The tank will then either pump or gravity flow into a system of approximately 6,820 feet of 2" and 3" mains that ultimately flow downward in elevation to the lift station as shown in the southwestern corner of the site. A community lift station will be installed which will pump the effluent through a new force main nearly 2000 feet into the existing force main leaving Brookfield station. Lots fronting on Redbud Road would require pumps in phase 1 to access the sewer in Redbud Rd. It is proposed that this would remain permanently with pumps in tanks to potentially avoid the creek crossing with the force main and gravity mains in the future. If these pumps remain in the tank, then the STEG main would not have to be installed across the creek and the system is more easily maintained. However, as shown on the utility map, if the Town will require these pumps to be removed from the tanks, then the STEG mains SS-6 and SS-7 will be constructed to drain across the creek. There are a total of 8 potential lots requiring pumps in tanks, or STEP systems.

Town staff has modeled the proposed peak of 70 gallons per minute (gpm) from the development and seen that Brookfield pump station cannot receive all the projected flow; therefore, the project intends to bypass the station with a connection to the 4" force main on its downstream side. From there, the effluent will enter Shenandoah II pump station, which is then pumped to Shenandoah 1 pump station. Town staff has confirmed that both stations have adequate capacity to handle the additional flows. If the connection this is not feasible from an engineering standpoint, then the applicant will upgrade the Brookfield pump station as necessary to accommodate peak flows from the development.

The STEP/STEG system we have chosen to use is a more sustainable system that releases much less effluent, which is important for several reasons. First, the system is installed watertight, like waterline, so there is not nearly as much inflow and infiltration as with the conventional sewer system. Therefore, peak flows during rainfall periods are not expected in the lines from this community; rather peak flows are expected during normal lifestyle cycles in a dry weather condition. Secondly, solids remain in the tanks to break down rather than being put into the piping system which allows the system to be built smaller and shallower requiring less energy to pump effluent through the three downstream pump stations. Finally, and most importantly, since the solids are not sent into the piping system, the system will receive significantly less effluent. Consequently, the 84 homes from this development will release less effluent per home than those on the conventional system. This is extremely important when dealing with a receiving system that may experience current or future capacity issues.

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Town has developed. The removal of cows from the creek with this development will help to repair the creek from unwanted erosion on its banks. We propose to safely pass the current flows through our site without impacting the existing floodplains adversely, nor increasing flows to Tom's Creek road at the bottom of the site.

To further protect this area from our own development impacts, the applicant will provide stormwater best management practices to achieve the Town's regulatory requirements for stormwater. A stormwater concept plan and narrative with calculations has been submitted with the application that shows the development can address the stormwater quantity and quality requirements and are detailed further below. Jurisdictional waters/wetland delineation has received preliminary approval from the Corps of Engineers and our crossing will conform to DEQ's permit requirements by disturbing less than 300' of creek length. To reduce overall imperviousness in the community and to keep disturbance of the creek length to this maximum limit, only one crossing has been proposed for the road. All springs are identified and protected inside conserved open space. The following details the requirements that will be met by the development.

Storm Water Quantity:

- Channel Protection: Stormwater management basins are located on the "stormwater management concept plan" shown below. These will detain the 1-year storm, as required by the State and Town regulations, back to an acceptable level using the energy balance equation. This ensures that small, frequent storms, do not negatively affect downstream creeks and channels.
- Flood Protection: The stormwater management basins are located strategically to adequately capture runoff and reduce flows to pre-development levels for the 10-year storm. This will keep our community amenities, infrastructure, and downstream creek areas from seeing any increase in flows and erosion associated with the larger less frequent storms.
- Creek Valley Overlay: Largely remains undisturbed. The road crossing and sewer lift station/access road fall within this area, as utilities are permitted in the creek valley overlay.
- 100-year floodplain
 - Calculations have been submitted to show that the road adequately passes the 100-year flood. A culvert has been designed to pass flood rates, as required by Town code. The nature of installing a culvert in an embankment will create some backwater thus reducing the flow rate of the 100-year storm at Tom's Creek Road. A reduction in flows for the 1-year, 10-year, and other storms are also seen at Tom's Creek Road because of the crossing and site detention. One hundred-year flood elevations to the property and on the property were modelled for the pre and post development cases. While the floodplain elevations increased slightly onsite, infrastructure is placed outside of these areas. No surrounding

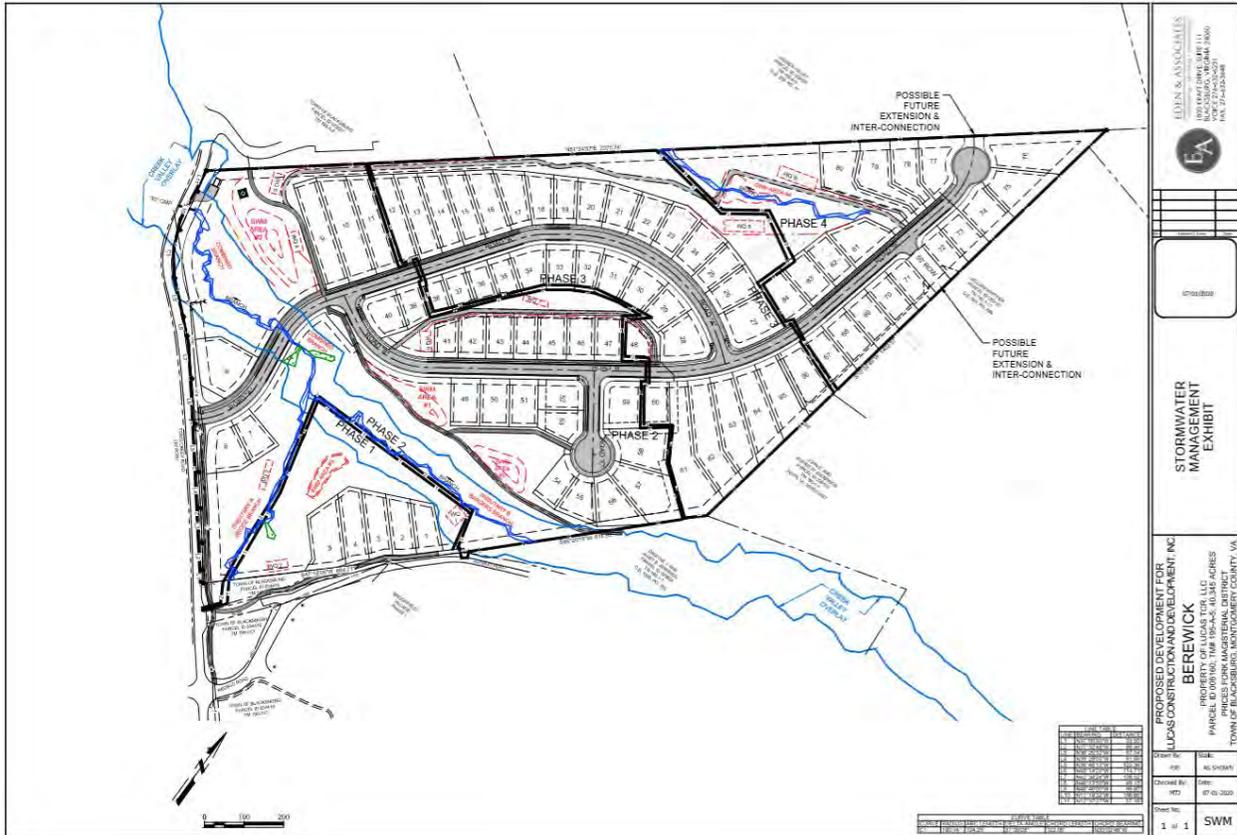
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properties are negatively affected. Elevations and calculations are contained in the Stormwater Narrative.

- Existing flooding: While the applicant recognizes the Town's downstream situation with flooding on Tom's creek road, attempts to reduce the flooding problem were futile as the DEQ and Corps of Engineers would not allow in-stream detention. Town staff representatives along with the developer's engineer met on-site to examine the areas and participated in an online meeting to this end.
- Because of the large amount of water draining from upstream development through this property, it is impractical to detain any of it out of the stream and make a big enough difference. Regardless, we have maximized detention from our site to reduce what floodwaters we can at Tom's Creek Rd. In the absence of being able to provide significant flood reduction with the project, it has remained a project goal not to exacerbate the problem where floodwaters cross Tom's Creek Road currently. The project design does not propose to additional infrastructure in this area nor wants to encourage an increase in traffic tot this location: automobiles, pedestrians, or bicyclists.

Storm Water Quality: The development will meet its water quality requirements by providing BMP's for 75-100% of the pollutant loading reduction required. Based on specific design requirements, this amount can vary, but a minimum of onsite treatment for 75% of the pollutant reduction required will be achieved while the remainder would be purchased in credits. Potential water quality areas have been identified both upstream and downstream of detention areas as shown on the "Stormwater Management Concept Plan". This will ensure that Tom's Creek and its tributaries will not receive any unwanted pollutants from our development.

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Other Utilities:

New private utilities for power, phone, cable, television, internet, and any other desired services will be provided for the community underground. All existing utilities and power poles have been avoided in design and will remain as they currently exist.

Environmental benefits:

Berewick's location, design, density, and infrastructure provide inherent environmental benefits:

- Providing efficiency in subdivision housing design to save on infrastructure cost per lot and thus serve a wider spectrum of the market.
- Building commitment to sustainability for energy efficiency, resource consumption, and healthy living in homes. (see Building Design and Construction section following)
- The project provides only one creek crossing for a road to limit creek disturbance.
- Recognizes conservation of the Creek Valley overlay areas and existing forestland through unified open space areas that are entirely contiguous.
- Identification of wetlands, springs, and jurisdictional waters for protection.
- Provides additional vegetative buffering in the Creek floodplain.

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- No FEMA floodplain currently exists. This project establishes a floodplain.
- 35% open space to be preserved encouraging active and passive recreation for all Town residents.
- Reducing wastewater effluent using the STEP/STEG system where solids are broken down in individual tanks rather than transported through Town pump stations and central sewer lines.
- Reduced energy consumption per capita for Town downstream receiving pump stations.
- Sustainable location
 - Adjacent to existing developments with 2 unit/acre densities.
 - Within walking distance of bus stop 0.6 miles away.
 - Within 1.25 miles of campus and downtown,
 - within 0.6 miles of retail establishments
 - Utilizing existing public utility infrastructure, adding customers to prior Town investment
 - Located next to a major Town park for recreational use.
 - On a major connection to 460 reducing use of local roads for further travel.
 - Reduced emissions due to shorter commutes to jobs and downtown for residents
 - Reduced emissions are a possibility by providing trail connections to Redbud Rd. for connectivity across bypass.
- Providing greenway connections to the north and south along Tom's Creek.
- Encouraging healthier lifestyles by providing active recreation in trails/sidewalks internally and to external areas including the Town baseball field, dog park, and to Brookfield Village, thus connecting to the Comprehensive Plan's "public north/south connector" trail along 460.
- Enhancing connectivity for Town residents in already established neighborhoods to the existing parks and recreation with a safe means of pedestrian and biking access.
- Installation of creek buffer landscaping and a variety of landscaping providing shade throughout the development.

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Liveability initiative, Community Foundation of the New River Valley: “Home in the New River Valley”

Recreational Amenities and Open Space:

As described earlier, Berewick has a unique feature in the tributaries of Tom’s Creek crossing the property. To take full advantage of this, the residents of the development and Town citizens will have full access to the creek for both active and passive recreational opportunities. Maps included below show the sidewalks, trail network, and community recreational areas included. The open space will be actively managed by the establishment of a homeowner’s association and will be available for the enjoyment of all its citizens. Approximately 32% of the project is comprised of usable, contiguous open space. Also included in these areas are the creek tributaries, which by nature will be protected by allowing natural habitat to occupy the floodplain areas once again.

Recreational Amenities and Open Space Map

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Passive:

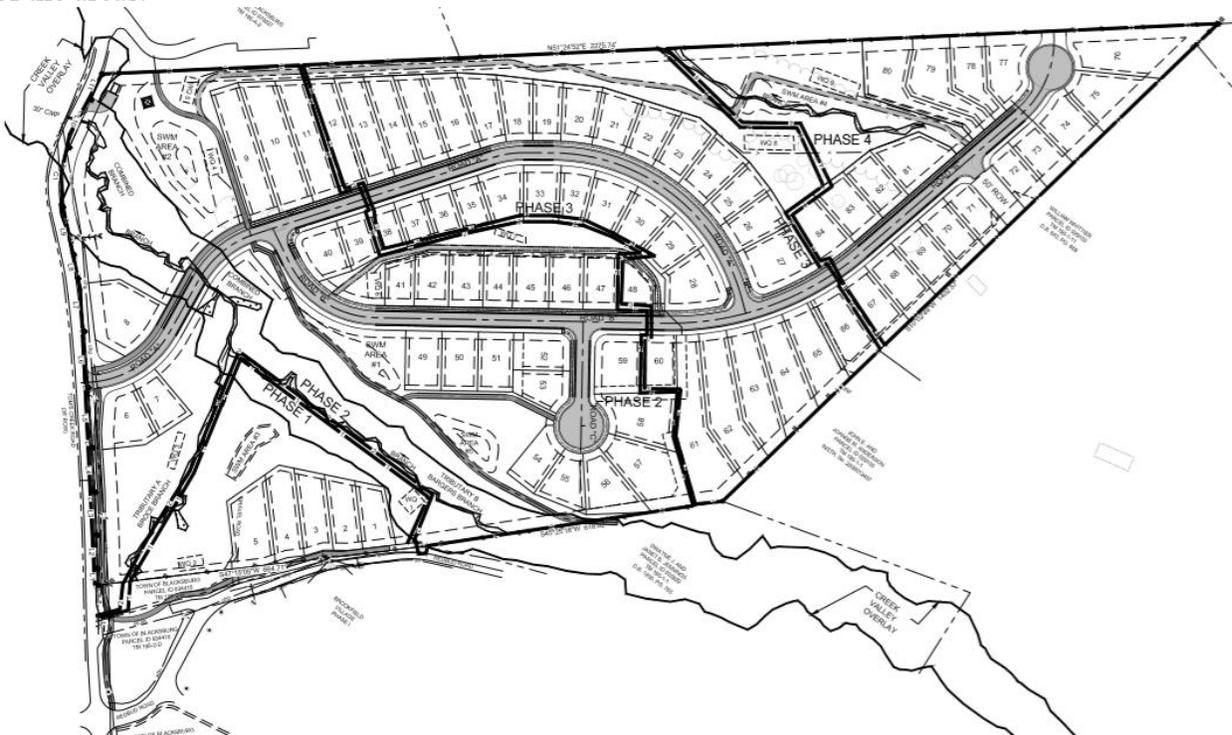
- A picnic shelter will be located on the property, adjacent to the Town park, for use by all citizens of Blacksburg. It will be built to Town standards and available for park users as well as neighborhood residents' use. The shelter will be a minimum of a 20x20 foot space in a level area to take advantage of the views of the Tom's Creek Valley. This will provide a gathering space for not only residents of the neighborhood, but also for the public to take advantage of during park hours.
- All open space dedicated on the map will be available by Town residents for enjoying wildlife and nature with spectacular views of Blacksburg from the higher elevations. Open space areas total 13.08 acres.



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Project Phasing:

To ensure project sustainability, phasing is proposed for the development in a manner that allows for independent construction to occur with reduced disturbed areas at one time and reduced impact to existing residents within the development. Open space will be dedicated in each phase to meet or exceed the percentage needed based on the percentage of housing in that phase provided. Utilities in each phase will be constructed to support the residential units they are served and provide the necessary safety precautions needed. Stormwater management will be constructed to meet individual regulations as required by the specific phase at a minimum but may also include more. The project phasing areas ensure the infrastructure is in place and extended beyond any created lots. Any road extension beyond intersections is less than 150 feet and provides adequate turn around. “Project phasing” is shown below for a graphic description of the areas.



Phase 1 description: Construct five (5) lots fronting on Redbud Rd. Connect to existing sewer and waterline in Redbud Rd. Construct stormwater management area 3. Construct trail section shown in blue on the “Pedestrian and Bicycle Circulation” map fronting Redbud Rd. and connecting to the existing trail along Tom’s Creek Rd. at Brookfield Village. Dedicate the open space as shown on the “Open Space map” within this phase.

Phase 2 description: Construct twenty-nine (29) lots and supporting infrastructure. Construct Road A and all associated infrastructure (Curb/gutter/sidewalks) to station 7+25 and road B and its infrastructure to station 25+50. Install the STEP/STEG lift station and gravity STEP/STEG

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mains from each lot and construct waterlines from their connection at Tom's Creek in front of each lot, and complete waterline loop to Redbud Rd. Construct stormwater management areas 1,2, and 5. Construct all remaining public trails along Tom's Creek Rd, Road A, and along the Tom's Creek tributary open space. Dedicate the open space as shown on the "Open Space map" within this phase.

Phase 3: Construct thirty-three (33) lots and supporting infrastructure. Construct remainder of road A to its intersection with Road B and all associated infrastructure (Curb/gutter/sidewalks) Construct road B and its infrastructure to station 29+50. Install the gravity STEP/STEG mains from each lot in this phase to the previously installed mains. Finish the waterline loop around Roads A and B and provide waterline up to station 29+50. Construct stormwater management area 4. Dedicate the open space as shown on the "Open Space map" within this phase.

Phase 4: Construct eighteen (18) lots to finalize the development. Construct the remainder of Road "B" and dedicate rights-of-way to external properties. Install the remainder of sewer and waterlines shown on the "Utility Plan" and dedicate the final open space as shown on the map.

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Open Space Calculations							
Total Acreage:	40.345	acres					
Open Space Areas:							
A	7.302	acres					
B	0.748	acres					
C	6.277	acres					
D	0.031	acres					
Total Open Space	14.357	acres		Percent Open Space:	35.6%		
Planned Lots:	84	Lots		Open Space per Lot:	0.171	acre / lot	
Phase 1							
Planned Lots:	5	Lots		MINIMUM Open Space:	0.855	acre	
Planned Open Space:	1.986	acre					
Actual OS Per Lot:	0.397	acre/lot					
Phases 1&2							
Phase 1 Lots:	5	Lots					
Phase 2 Lots:	26	Lots					
Total Planned Lots:	31	Lots		MINIMUM Open Space:	5.299	acre	
				Phase 1 OS:	1.986	acre	
				Phase 2 OS:	9.023	acre	
Actual OS Per Lot:	0.355	acre/lot		Actual Open Space:	11.01	acre	
Phases 1, 2, & 3							
Phase 1 Lots:	5	Lots					
Phase 2 Lots:	26	Lots					
Phase 3 Lots:	35	Lots					
Total Planned Lots:	66	Lots		MINIMUM Open Space:	11.281	acre	
				Phase 1 OS:	1.986	acre	
				Phase 2 OS:	9.023	acre	
				Phase 3 OS:	1.494	acre	
Actual OS Per Lot:	0.189	acre/lot		Actual Open Space:	12.50	acre	
Phases 1, 2, 3, & 4							
Phase 1 Lots:	5	Lots					
Phase 2 Lots:	26	Lots					
Phase 3 Lots:	35	Lots					
Phase 4 Lots:	18	Lots					
Total Planned Lots:	84	Lots		MINIMUM Open Space:	14.357	acre	
				Phase 1 OS:	1.986	acre	
				Phase 2 OS:	9.023	acre	
				Phase 3 OS:	1.494	acre	
				Phase 4 OS:	1.855	acre	
Actual OS Per Lot:	0.171	acre/lot		Actual Open Space:	14.357	acre	

Building Design and Construction

The intent of the placement of homes on the lots is to allow for porches to be placed on the fronts of homes as desired, and for driveways to accommodate for one or two parking spaces as required. Mainly one and two story with some three-story homes are envisioned with basements with walkouts where desirable. The site is extremely sloped lending itself well to walkout basements. Half stories are permitted within the height requirements of the district.

Examples of exterior Materials:

Berewick: Planned Residential District Rezoning

- Siding: masonry, wood, stucco, stone, fiber cement composition board, or vinyl
- Roofing: slate, asphalt or fiberglass, metal
- Foundations: masonry, stone, stucco or traditional parging (painted)
- Colors: Traditional colors shall vary throughout the development. No one color shall be used more than 40% of the time on a principal structure in the development.
- Porches: masonry, wood, stucco, stone, fiber cement, or synthetic materials.

Examples of Building and Floor Plans:

See the Appendix for example homes that may be contained in Berewick.

Building Commitment to Sustainability:

The Berewick community will be dedicated to the use of energy-efficient practices to build our residents' homes. The products and installation methods for each home will meet rigid standards for energy efficiency and environmental impact.

The homes at Berewick will use high efficiency heating and cooling equipment and adhere to stringent standards for sealing and insulating homes. The homes will include insulated exterior doors and Energy Star qualified windows, with extensive air seal caulking around the windows, doors, and sill plates. Comprehensive insulation is used in attics (R-38), walls (R-15), and basements (R-11). Homes in Berewick will be served by natural gas. Each home will have natural gas furnaces with a 95% efficiency rating, utilize electronic zone damper technology, which automatically directs conditioned air to the areas of the home where it is most needed, and be served with tankless water heaters. Custom calculations are completed for each home to ensure the proper sizing of the HVAC system. All ductwork is engineered to fit within the thermal building envelope, and the joints are sealed to ensure efficiency. Air leakage tests performed on each home verify that peak efficiency is achieved. These products ensure comfort, low energy bills, and minimal environment impact.

Homes will have insulated and conditioned basements, whether those spaces are finished or unfinished. An insulated and conditioned basement reduces energy consumption by aiding in temperature regulation, keeping the home warmer in the winter and cooler in the summer. Doing this also decreases moisture content and lowers the risk of mold and mildew in the basement. Insulating and conditioning the basement greatly increases the comfort level indoors while conserving energy.

Indoor air quality is an important health consideration for our residents. Studies show that uncirculated indoor air can contain many potential harmful pollutants. Installation of ventilation systems that incorporate fresh air into the home all year long will be standard practice.

Berewick: Planned Residential District Rezoning

Each home includes products that help conserve energy and the environment. Energy-saving LED lightbulbs are installed in all recessed lights throughout the home. All kitchens include Energy Star appliances, and all bathrooms are equipped with low-flow toilets that conserve water. Tankless water heaters are an option as well, which save energy by heating water only when it is needed.

In addition to energy-efficient products, Berewick will employ various building strategies meant to reduce the environmental impact of construction. Conformance to storm water management protocols helps protect our waterways and wildlife. Advanced framing packages include pre-framed wall panels that reduce wasted lumber materials, which would otherwise end up in local landfills. Professionally designed landscape packages promote water conservation, as we strategically select drought-resistant trees and shrubs to mitigate watering requirements.

Berewick homeowners can be confident that the best energy efficient practices were used in building their home. They enjoy the benefit of knowing that energy efficient materials and features deliver better performance and add to the superior quality that our community has come to expect in their homes.

Berewick: Planned Residential District Rezoning

Landscaping, Signage, and Lighting:

The landscape of Berewick Manor will create a sense of place for this new neighborhood community centered around its most prominent asset, the creek. The “Landscaping Plan” is included below. The entrance will contain signage that meets the current Town code. As you enter the subdivision, you will cross over the creek whose floodplain has been buffered in high moisture tolerant trees since the area frequently floods. Others will line the floodplain as shown on the exhibit. Over time this landscape will transform into a shady recreational area for wildlife and residents alike to enjoy the creek habitat. Traveling into the neighborhood further, streets will contain pedestrian friendly areas with front yards containing large trees that will eventually create a matured tree-canopied community. Trees are purposefully located outside of the grass strip so that larger shade trees can be chosen, with a long lifespan, and not impact the sidewalk infrastructure. Trees surrounding the property and within will be protected where possible. The mature forested area at the top of the development will be conserved using open space and the homeowner’s association will be responsible for maintaining

Landscape standards:

Trees:

- A minimum of 280 Deciduous trees will line the streets and creek banks shown in general conformance with the Landscape Exhibit included below and in the Appendix. These include those trees listed below in the Front yards section.
- A minimum of 157 screening trees, such as pines or Leyland cypress will be included around the perimeter of lots, the floodplain, and the boundary generally as shown on the Landscape Exhibit.
- A minimum of 743 shrubs will be scattered throughout the development open space for slope stabilization and aesthetics as well as on individual lots as described below in the Front Yards section.
- Types of trees shown in the General landscaping exhibit are examples, but may be changed in design to include equal canopy totals.

Open Space:

- All open space will be owned and maintained by the Homeowner’s association and shall contain landscaping, at a minimum, as shown on the “Landscape Plan” contained in this document.
- The forested area at the top of the development will require maintenance for safety and health of the forest: eradication of invasive species, large broken limbs removed, understory management, etc.
- The creek buffer shall be maintained in as much of a natural state as possible, encouraging regrowth of native species. This area may be bushlogged for safety or unwanted growth, but no more than four times a year.
- After flooding occurs on the creek, all unwanted or unsafe debris shall be removed and properly disposed of.
- Large deciduous impact infrastructure

Fences

Berewick: Planned Residential District Rezoning

- Fences and walls shall be fabricated from wood, aluminum, wrought iron, vinyl, brick, or other approved materials manufactured specifically for fences and walls.
- Chain link fences are not permitted

Front Yards

- Front yard: The maximum height of fences, walls, and hedges in any required front setback, where used, will be constructed, or maintained at a maximum of four (4) of height.
- Side or rear yard: The maximum height of a fence or wall in any required side or rear yard setback shall be six (6) feet.
- A minimum of one (2) trees providing a minimum of 350 square feet of canopy in 20 years shall be planted between the front building line and a location 5' off the sidewalk. Desired plantings for the community include trees with a 100-year lifespan and large canopy coverage; typically, these types of tree roots will impact sidewalk and is therefore not to be planted in the grass strip. Furthermore, the grass strip is the location for utilities.
- A minimum of four (4) shrubs or trees shall be planted between the front building line and the sidewalk.

Overall Lot Requirements

- Secure all disturbed soil with grass, mulch, or other vegetation
- Any accessory building or structure, excluding swimming pools and pool enclosures, exceeding twenty (20) percent of the square foot area of the principal structure shall be compatible in architectural style, color, and exterior facing material to the principal structure

Signage shall conform to current Town of Blacksburg zoning regulations.

Lighting:

- No lighting is proposed for the development.
- Dwelling unit lighting shall be typical permitted as typical wall mounted lighting.

Berewick: Planned Residential District Rezoning



Berewick: Planned Residential District Rezoning

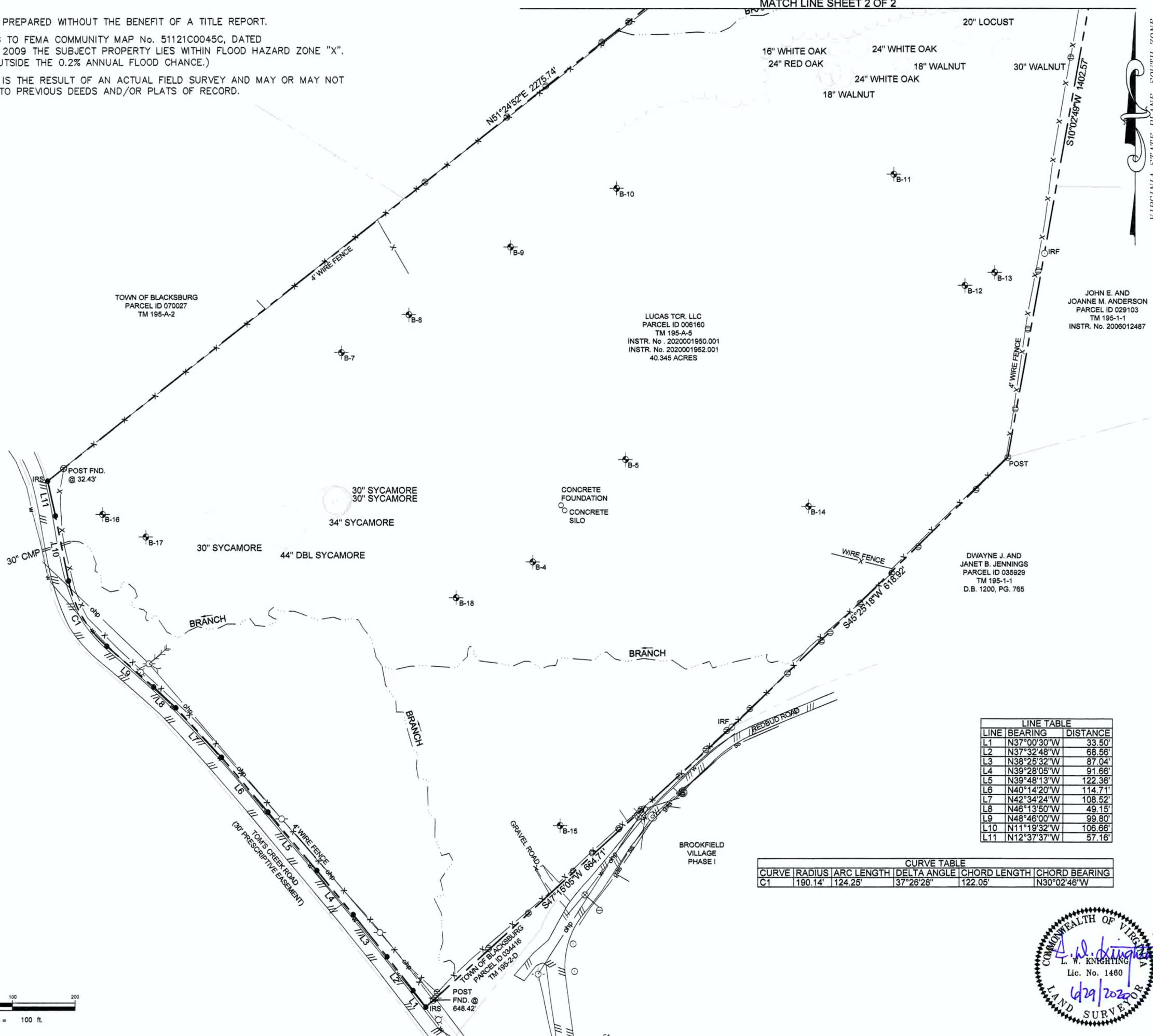
APPENDICES

Property Survey

NOTES:

1. THIS PLAT PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT.
2. ACCORDING TO FEMA COMMUNITY MAP No. 51121C0045C, DATED SEPT. 25, 2009 THE SUBJECT PROPERTY LIES WITHIN FLOOD HAZARD ZONE "X". (AREAS OUTSIDE THE 0.2% ANNUAL FLOOD CHANCE.)
3. THIS PLAT IS THE RESULT OF AN ACTUAL FIELD SURVEY AND MAY OR MAY NOT CONFORM TO PREVIOUS DEEDS AND/OR PLATS OF RECORD.

MATCH LINE SHEET 2 OF 2



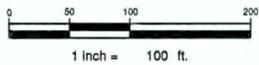
JOHN E. AND
JOANNE M. ANDERSON
PARCEL ID 029103
TM 195-1-1
INSTR. No. 2006012487

LUCAS TCR, LLC
PARCEL ID 008160
TM 195-A-5
INSTR. No. 202001950.001
INSTR. No. 202001952.001
40.345 ACRES

DWAYNE J. AND
JANET B. JENNINGS
PARCEL ID 035929
TM 195-1-1
D.B. 1200, PG. 765

LINE	BEARING	DISTANCE
L1	N37°00'30\"W	33.50'
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L11	N12°37'37\"W	57.16'

CURVE	RADIUS	ARC LENGTH	DELTA ANGLE	CHORD LENGTH	CHORD BEARING
C1	190.14'	124.25'	37°28'28\"	122.05'	N30°02'46\"W



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- Charlottesville, VA
- Hampton Roads, VA
- Fayetteville, NC
- Northern Virginia
- Virginia Beach, VA

BOUNDARY SURVEY
LUCAS TCR, LLC PROPERTY
PRICES FORK DISTRICT, TOWN OF BLACKSBURG, MONTGOMERY COUNTY, VIRGINIA

REVISIONS

▲	05/03/2020	REVISED PIPE SIZE
▲	06/29/2020	REVISED OWNER

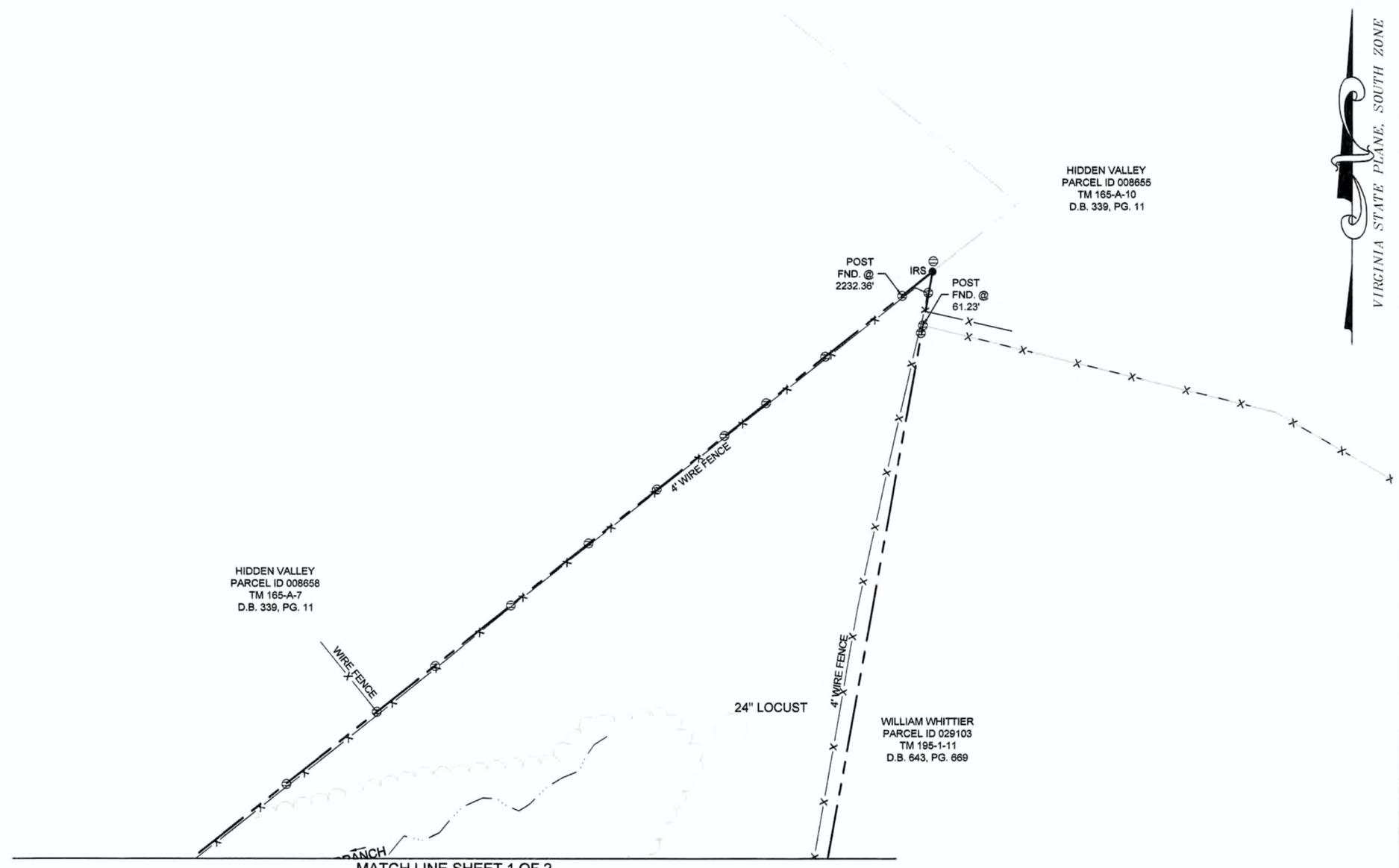
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DRAWN BY:	JF
CHECKED BY:	LWK
SCALE:	1" = 100'
DATE:	04/29/2020
PROJECT NUMBER:	20010143-010501

SHEET
1 OF 2



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VIRGINIA STATE PLANE, SOUTH ZONE

HIDDEN VALLEY
PARCEL ID 008655
TM 165-A-10
D.B. 339, PG. 11

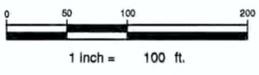
HIDDEN VALLEY
PARCEL ID 008658
TM 165-A-7
D.B. 339, PG. 11

WILLIAM WHITTIER
PARCEL ID 029103
TM 195-1-11
D.B. 643, PG. 669

MATCH LINE SHEET 1 OF 2

LEGEND

---	PROPERTY LINE	○	TELEPHONE PEDESTAL	⚡	ELECTRIC BOX
- - - - 1000 - - - -	CONTOUR	⊕	TELEPHONE MANHOLE	●	GUY POLE
g	GAS LINE	⊠	TELEPHONE BOX	⊕	ELECTRIC MARKER
ohp	OVERHEAD POWER	⊕	FIRE HYDRANT	⊕	ELECTRICAL MANHOLE
ss ○ ss	SANITARY SEWER AND MANHOLE	⊗	WATER VALVE	⊕	UTILITY POLE
== ○ ==	STORM LINE AND MANHOLE	⊗	WATER METER	E	ELECTRIC TRANSFORMER
== □ ==	STORM LINE AND INLET	⊙	WELL	☆	GROUND LIGHT
catv	UNDERGROUND CABLE TV	★	BENCHMARK	⊕	LIGHT POLE
uge	UNDERGROUND ELECTRIC	○	BOLLARD	⊕	FIBER OPTIC PEDESTAL
ugt	UNDERGROUND TELEPHONE	○	ROD FOUND	F	FIBER OPTIC HANDHOLE
fo	UNDERGROUND FIBER OPTIC	□	MONUMENT FOUND	△	GAS VENT
unk	UNKNOWN UTILITY	+	SIGN (1-POST)	○	GAS VALVE
w	WATERLINE	+	SIGN (2-POST)	⊠	GAS METER
///	ASPHALT	+ 1561.3	SPOT ELEVATION	○	SEWER CLEAN OUT
—	BUILDING	+	DECIDUOUS TREE	⊕	WOOD POST
-x-x-	FENCE (AS NOTED)	+	EVERGREEN TREE	⊕	METAL POST
— · · · —	STREAM	+	SHRUB	⊕	GRAVEL
— · · · · · —	TREELINE	+	CONCRETE		
— Y —	GUY WIRE				



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BOUNDARY SURVEY
LUCAS TCR, LLC PROPERTY
PRICES FORK DISTRICT, TOWN OF BLACKSBURG, MONTGOMERY COUNTY, VIRGINIA

REVISIONS

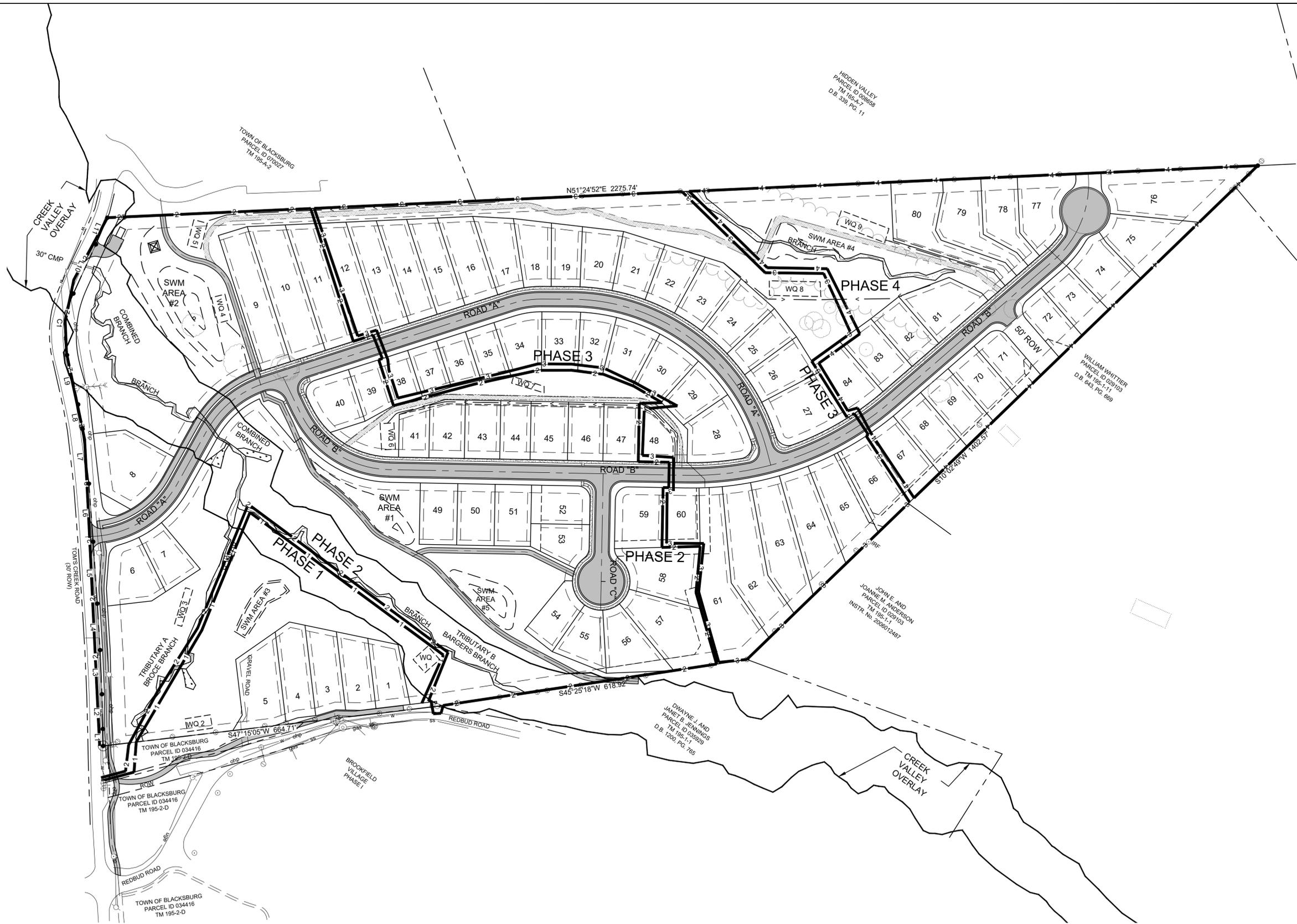
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△	06/29/2020	REVISED OWNER

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DRAWN BY:	JF
CHECKED BY:	LWK
SCALE:	1" = 100'
DATE:	04/29/2020
PROJECT NUMBER:	20010143-010501



SHEET
2 OF 2

Exhibits



LINE TABLE		
LINE	BEARING	DISTANCE
L1	N37°00'30"W	33.50'
L2	N37°32'48"W	68.56'
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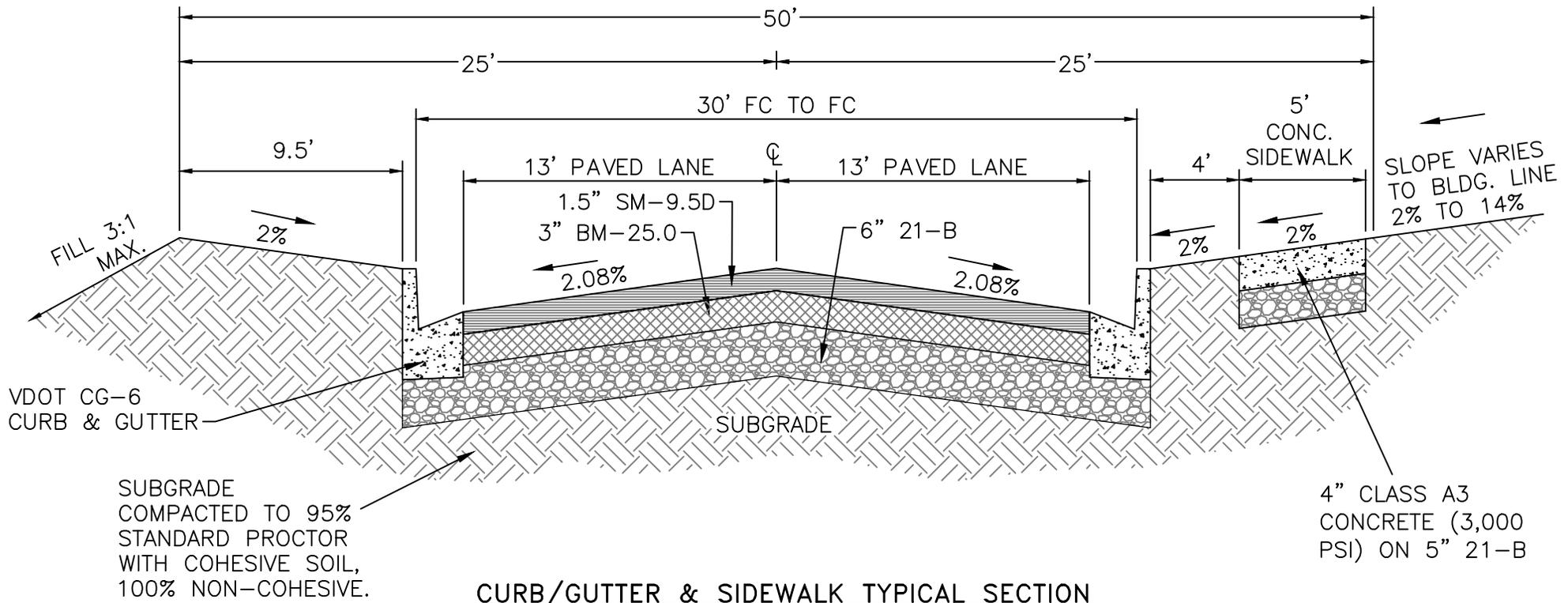
EDEN & ASSOCIATES
 engineering • planning • development
 1800 KRAFT DRIVE, SUITE 111
 BLACKSBURG, VIRGINIA, 24060
 VOICE 276-632-6231
 FAX: 276-632-3648

No.	Revision / Issue	Date

**EXHIBIT FOR REZONING
 OVERALL DEVELOPMENT**

PROPOSED DEVELOPMENT FOR
 LUCAS CONSTRUCTION AND DEVELOPMENT, INC.
BEREWICK
 PROPERTY OF LUCAS TCR, LLC
 PARCEL ID 006160; TM# 195-A-5; 40.345 ACRES
 PRICES FORK MAGISTERIAL DISTRICT
 TOWN OF BLACKSBURG, MONTGOMERY COUNTY, VA

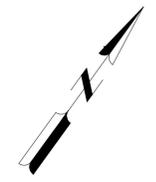
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CURB/GUTTER & SIDEWALK TYPICAL SECTION
(NOT TO SCALE)

NOTES:

1. TYPICAL SECTION IS FOR ROADS "A", "B", AND "C", EXCLUDING CUL-DE-SACS.
2. SIDEWALK IS LOCATED EITHER "RIGHT" OR "LEFT" OF CENTERLINE AS DEPICTED.
3. ROAD "A", STATION 0+25 TO STATION 4+60, INCLUDES 10' ASPHALT TRAIL IN LIEU OF 5' SIDEWALK.
4. PAVEMENT SECTION IS BASED ON A DESIGN CBR OF 4 WITH GREATER THAN 400 ADT.
5. ROAD "B", STATION 29+50 TO STATION 36+10 MAY HAVE A REDUCED PAVEMENT SECTION INCLUDING 6" 21-B STONE AND 2" SM-9.5D ASPHALT SURFACE AS ADT IS LESS THAN 400 ADT.
6. ROADWAY DESIGN SPEED IS 25 MPH. ROADWAY CLASSIFICATION IS LOCAL STREET WITH PARKING ON ONE SIDE.



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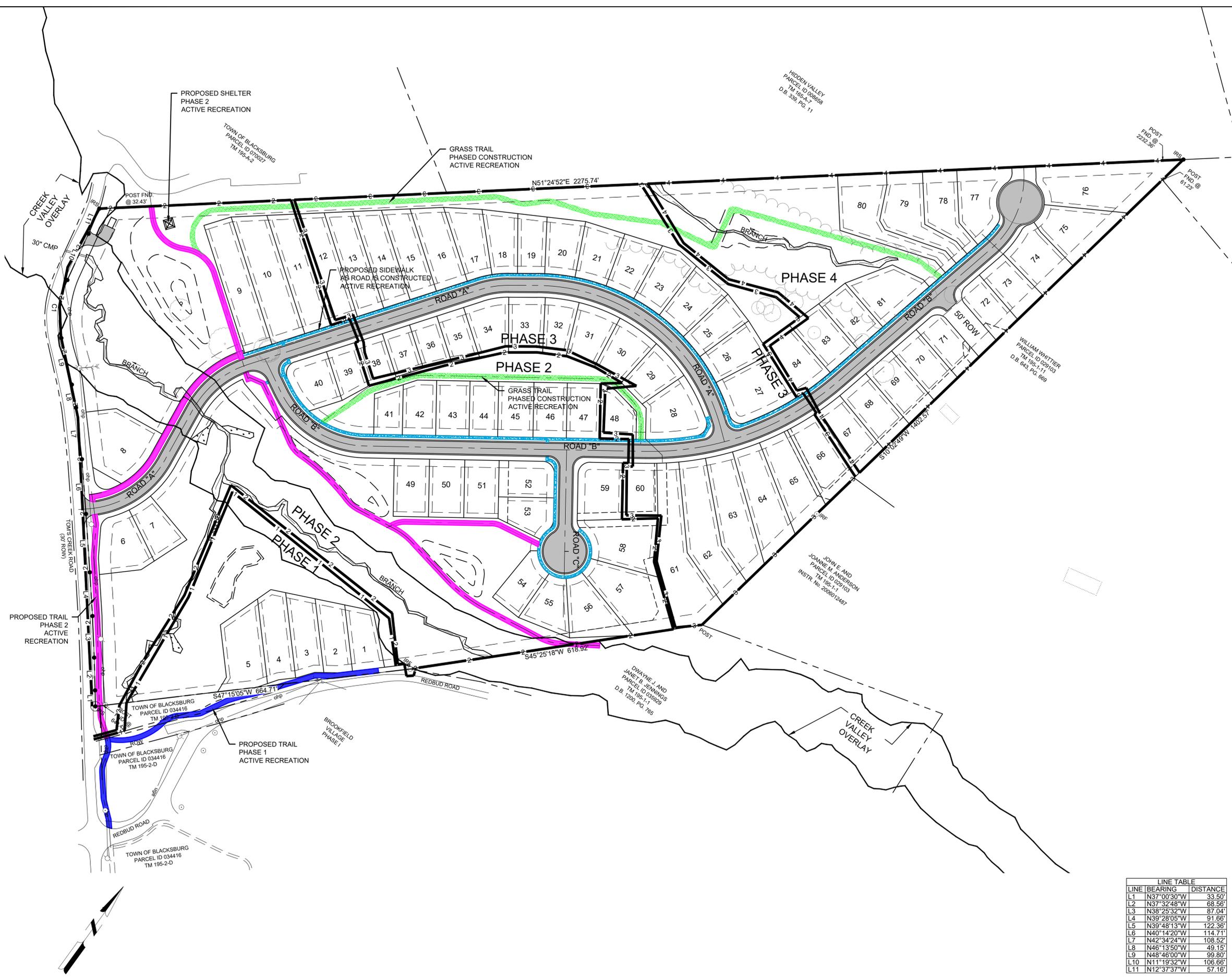
No.	Revision / Issue	Date

PAUL BROWN
 Lic. No. 036148
 07/01/2020
 PROFESSIONAL ENGINEER, V.I.

OPENSAPCE AND RECREATION EXHIBIT

PROPOSED DEVELOPMENT FOR
 LUCAS CONSTRUCTION AND DEVELOPMENT, INC.
BEREWICK
 PROPERTY OF LUCAS TCR, LLC
 PARCEL ID 006160; TM# 195-A-5; 40.345 ACRES
 PRICES FORK MAGISTERIAL DISTRICT
 TOWN OF BLACKSBURG, MONTGOMERY COUNTY, VA

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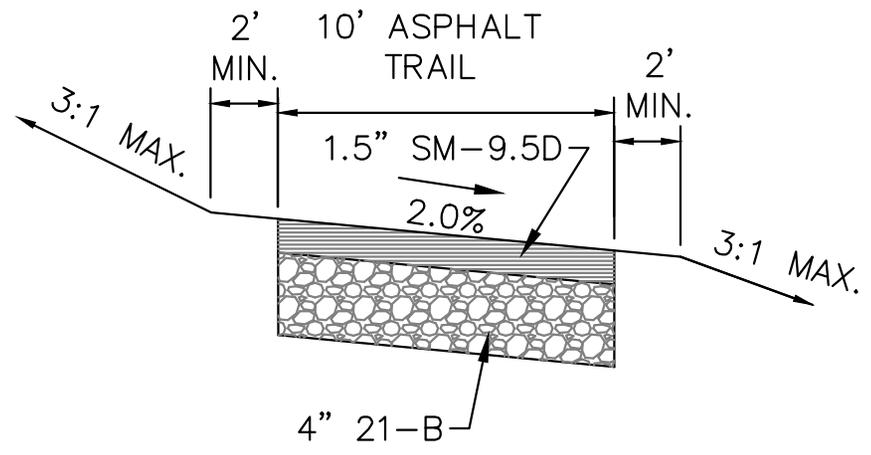
PAUL BROWN
 Lic. No. 036148
 07/01/2020
 PROFESSIONAL ENGINEER, V.I.

PEDESTRIAN AND
 BICYCLE CIRCULATION
 EXHIBIT

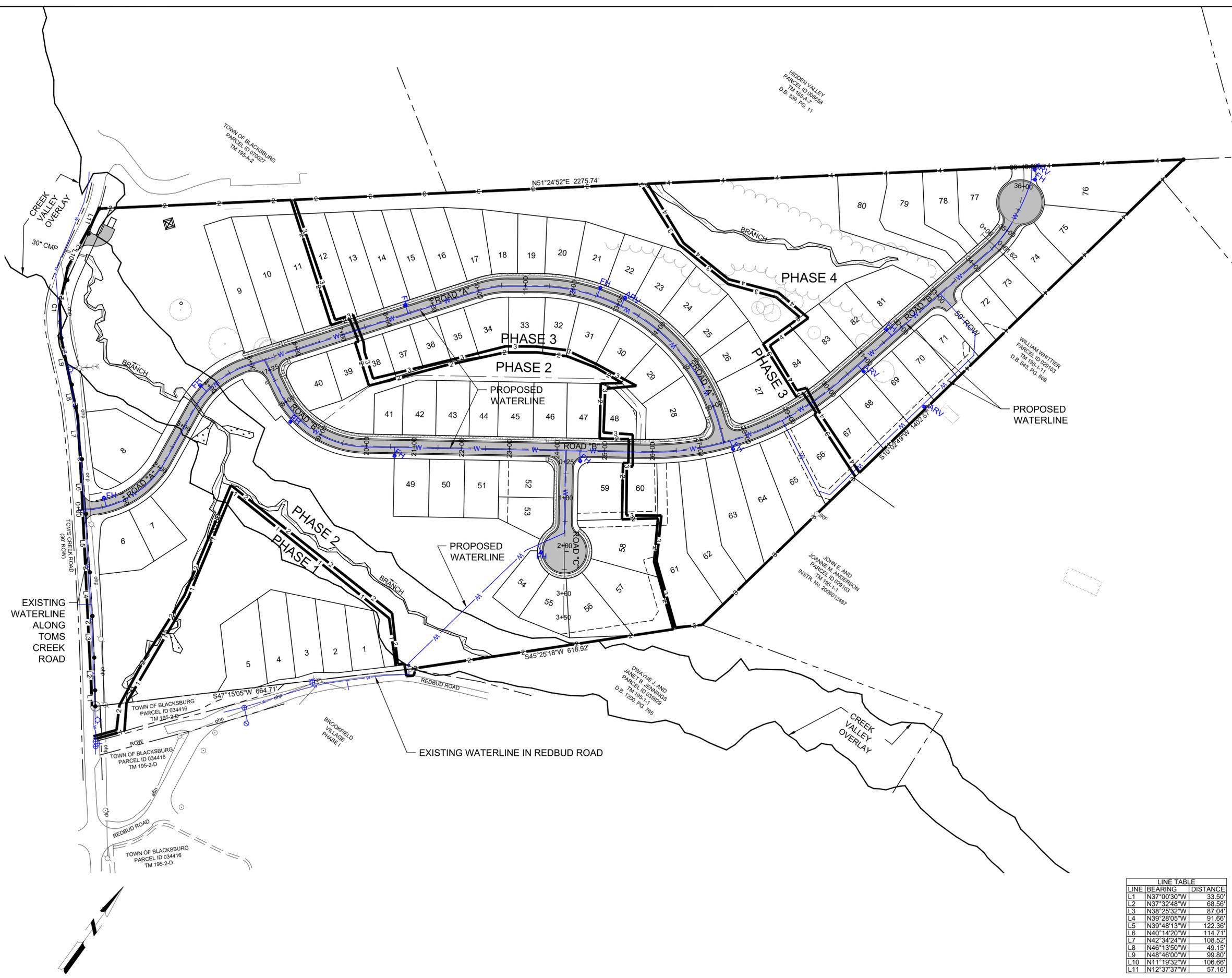
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 PARCEL ID 006160; TM# 195-A-5; 40.345 ACRES
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Checked By: MTJ	Date: 07-01-2020
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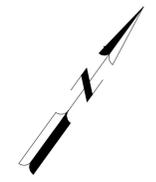
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TRAIL SECTION
(NOT TO SCALE)



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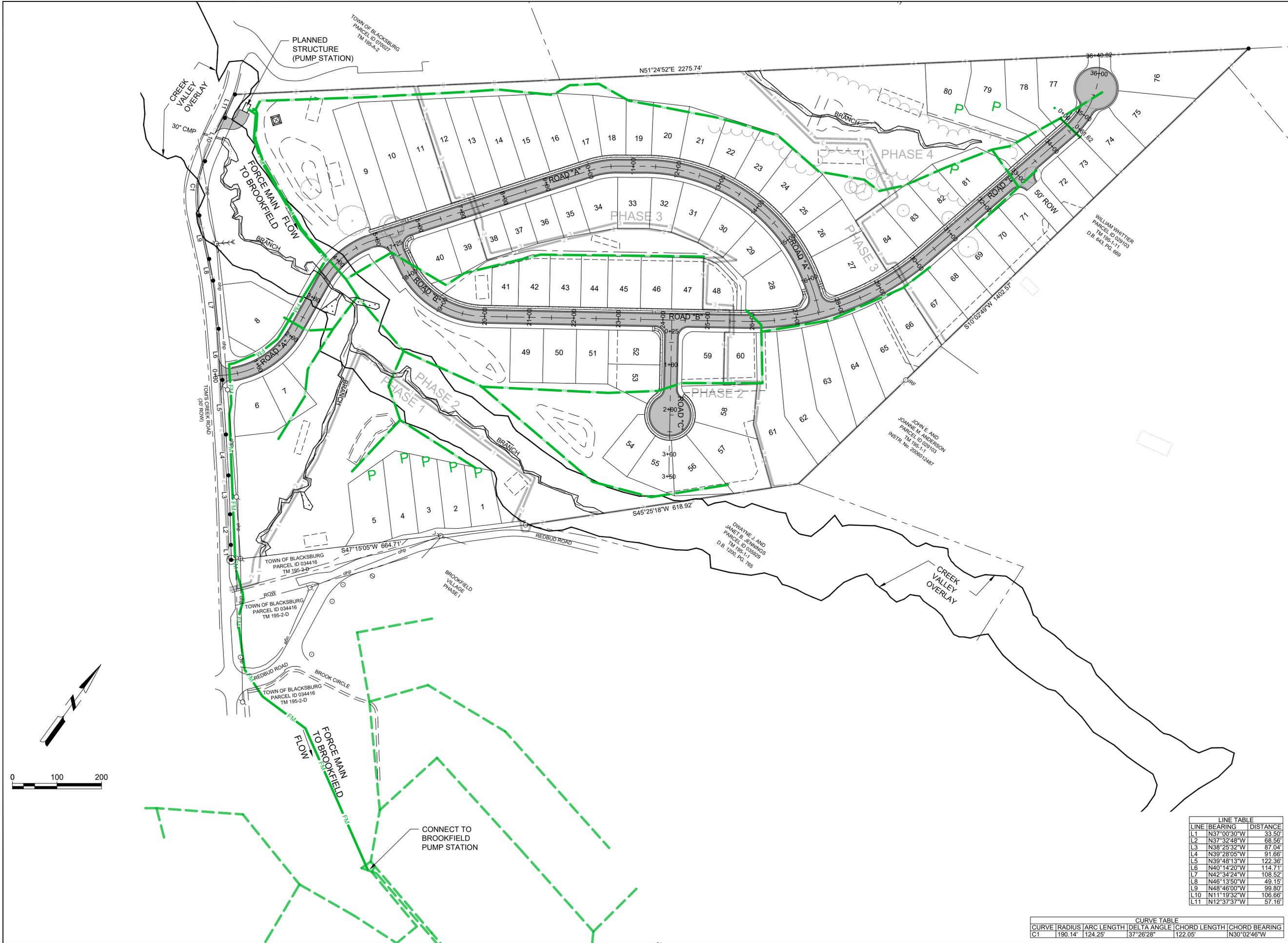
No.	Revision / Issue	Date



WATERLINE NETWORK EXHIBIT

PROPOSED DEVELOPMENT FOR
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BEREWICK
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Sheet No. 1 of 1	WATER



LINE TABLE		
LINE	BEARING	DISTANCE
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No.	Revision / Issue	Date

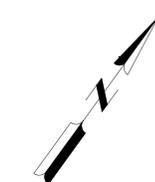


SANITARY SEWER SYSTEM EXHIBIT

PROPOSED DEVELOPMENT FOR
 LUCAS CONSTRUCTION AND DEVELOPMENT, INC.
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 PARCEL ID 006160; TM# 195-A-5; 40.345 ACRES
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Sheet No. 1 of 1	SS

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C1	190.14'	124.25'	37°26'28"	122.05'	N30°02'46"W

EDEN & ASSOCIATES
 engineering • planning • development
 1800 KRAFT DRIVE, SUITE 111
 BLACKSBURG, VIRGINIA 24060
 VOICE 276-632-6231
 FAX 276-632-3648



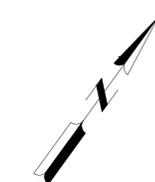
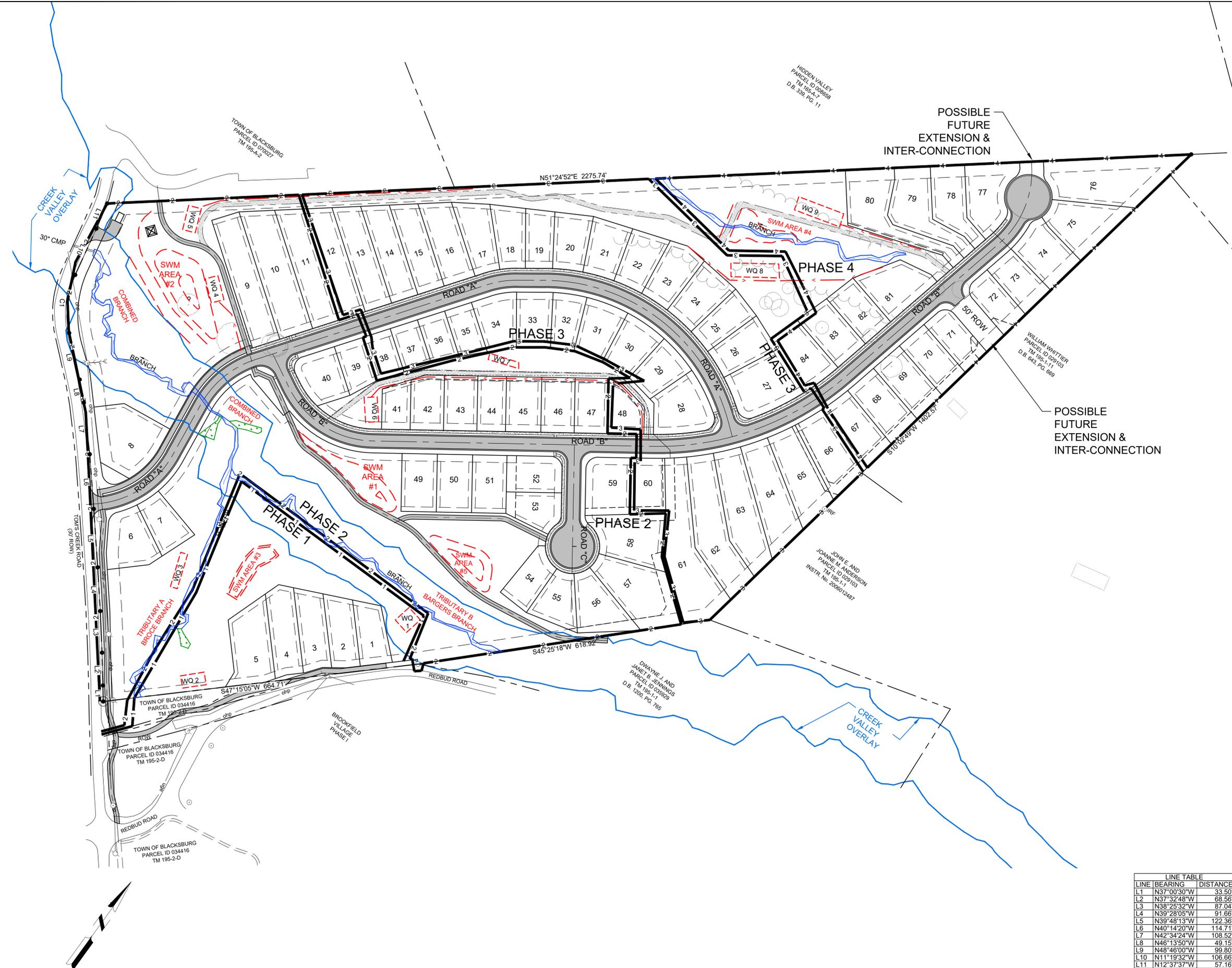
No.	Revision / Issue	Date

PAUL BROWN
 Lic. No. 036148
 07/01/2020
 PROFESSIONAL ENGINEER, V.I.

GENERAL
 LANDSCAPE
 EXHIBIT

PROPOSED DEVELOPMENT FOR
 LUCAS CONSTRUCTION AND DEVELOPMENT, INC.
BEREWICK
 PROPERTY OF LUCAS TCR, LLC
 PARCEL ID 006160; TM# 195-A-5; 40.345 ACRES
 PRICES FORK MAGISTERIAL DISTRICT
 TOWN OF BLACKSBURG, MONTGOMERY COUNTY, VA

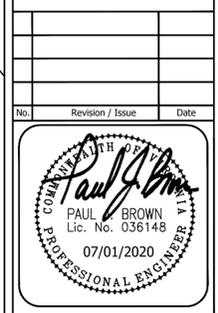
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PJB	AS SHOWN
Checked By:	Date:
MTJ	07-01-2020
Sheet No.	
1 of 1	Z LS



LINE TABLE		
LINE	BEARING	DISTANCE
L1	N37°00'30"W	33.50'
L2	N37°32'48"W	68.56'
L3	N38°25'32"W	87.04'
L4	N39°28'05"W	91.66'
L5	N39°48'13"W	122.36'
L6	N40°14'20"W	114.71'
L7	N42°34'24"W	108.52'
L8	N46°13'50"W	49.15'
L9	N48°46'00"W	99.80'
L10	N11°19'32"W	106.66'
L11	N12°37'37"W	57.16'

CURVE TABLE					
CURVE	RADIUS	ARC LENGTH	DELTA ANGLE	CHORD LENGTH	CHORD BEARING
C1	190.14'	124.25'	37°26'28"	122.05'	N30°02'46"W

EDEN & ASSOCIATES
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 1800 KRAFT DRIVE, SUITE 111
 BLACKSBURG, VIRGINIA 24060
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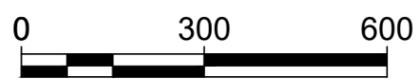
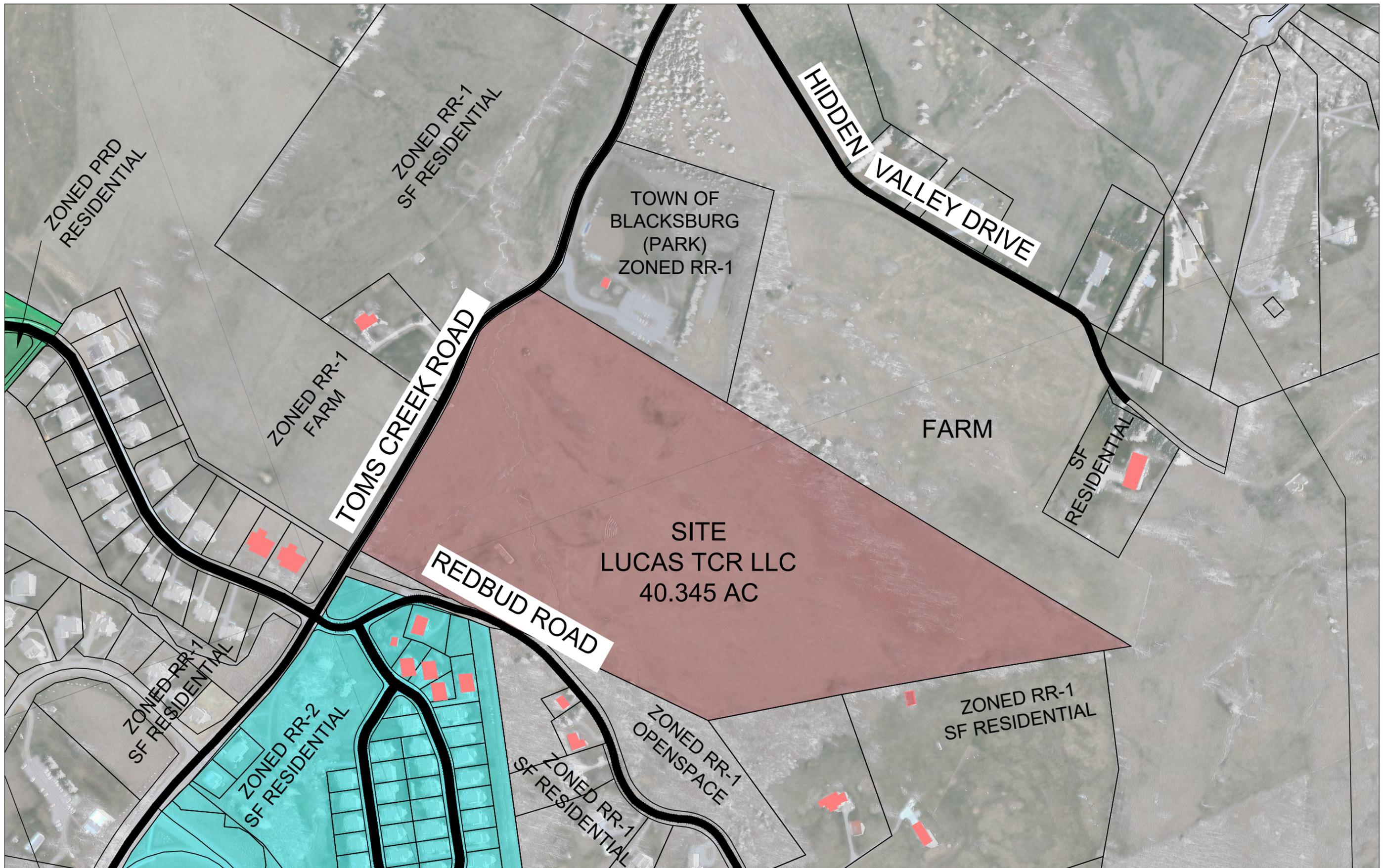


**STORMWATER
 MANAGEMENT
 EXHIBIT**

PROPOSED DEVELOPMENT FOR
 LUCAS CONSTRUCTION AND DEVELOPMENT, INC.
BEREWICK
 PROPERTY OF LUCAS TCR, LLC
 PARCEL ID 006160; TM# 195-A-5; 40.345 ACRES
 PRICES FORK MAGISTERIAL DISTRICT
 TOWN OF BLACKSBURG, MONTGOMERY COUNTY, VA

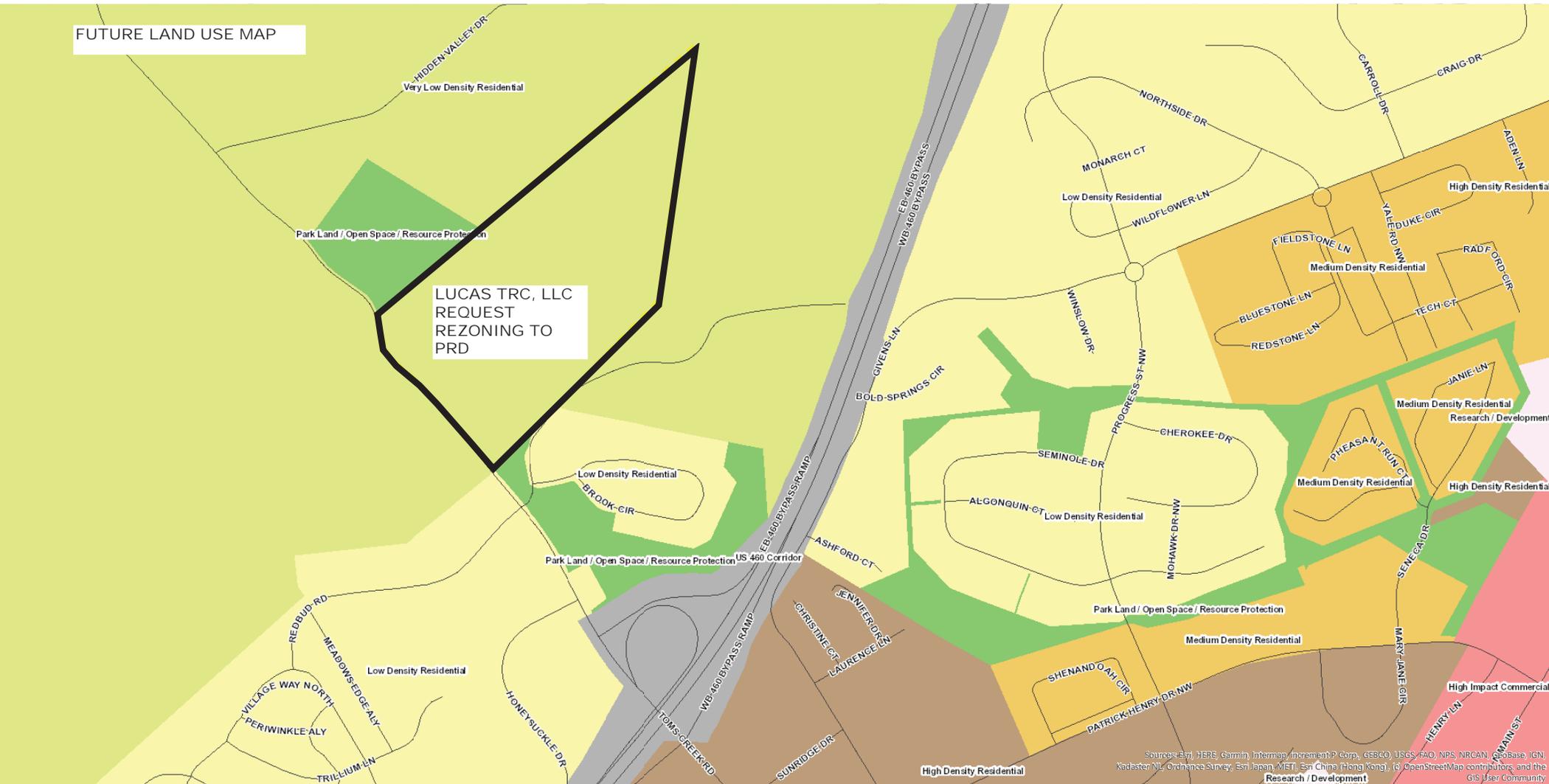
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PJB	AS SHOWN
Checked By:	Date:
MTJ	07-01-2020
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1 of 1	SWM

C:\DROPO\EA\JM\ LUCAS PROJECT\TOWNS CREEK\CAD\PRELIMINARY PLAT.DWG



BEREWICK VICINITY MAP

FUTURE LAND USE MAP



Sources: Esri, HERE, Garmin, Intermap, increment P Corp., GEBCO, USGS, FAO, NPS, NRCAN, GeoBase, IGN, Kadaster NL, Ordnance Survey, Esri Japan, METI, Esri China (Hong Kong), Swisstopo, Mapbox Contributors, and the GIS User Community

Property Deeds

VIRGINIA LAND RECORD COVER SHEET

Commonwealth of Virginia VA. CODE §§ 17.1-223, -227.1, -249

FORM A – COVER SHEET CONTENT

Instrument Date: **3/12/2020**

Instrument Type: **DBS**

Number of Parcels: **1** Number of Pages: **3**

City County **MONTGOMERY**
CIRCUIT COURT

Tax Exempt? VIRGINIA/FEDERAL CODE SECTION

Grantor:

Grantee:

Business/Name

1 Grantor: **SYPOLT, SUSAN M. TR**

Grantor:

1 Grantee: **LUCAS TCR, LLC**

Grantee:

Grantee Address

Name: **LUCAS TCR, LLC**

Address:

City: State: **VA** Zip Code:

Consideration: **\$527,000.00** Existing Debt: **\$0.00** Actual Value/Assumed: **\$0.00**

PRIOR INSTRUMENT UNDER § 58.1-803(D):

Original Principal: **\$0.00** Fair Market Value Increase: **\$0.00**

Original Book No.: Original Page No.: Original Instrument No.:

Prior Recording At: City County Percentage In This Jurisdiction: **100%**

Book Number: Page Number: Instrument Number:

Parcel Identification Number/Tax Map Number: **006160**

Short Property Description:

Current Property Address:

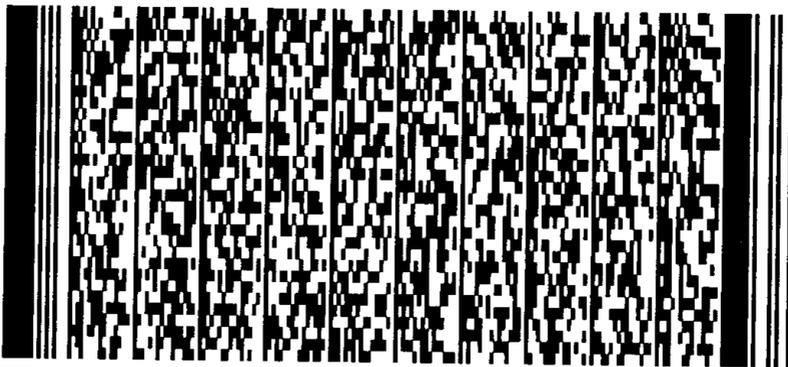
City: **BLACKSBURG** State: **VA** Zip Code: **24060**

Instrument Prepared By: **SPICER OLIN AND ASSOCIATE** Recording Paid By: **SPICER OLIN AND ASSOCIATES**

Recording Returned To: **SPICER OLIN AND ASSOCIATES**

Address: **504 SOUTH MAIN STREET**

City: **BLACKSBURG** State: **VA** Zip Code: **24060**



RECORDED IN
MONTGOMERY COUNTY, VA
ERICA W. CONNER
CLERK OF CIRCUIT COURT
FILED Mar 13, 2020
AT 03:46 pm
INSTR # 2020001950

TMC

(Area Above Reserved For Deed Stamp Only)

Prepared By: John N. Spicer, VSB No. 68845
 Consideration: \$ 527,000.00 (1/2 Interest)
 Tax Assessed Value: \$ 725,400.00 (\$362,700.00)
 Tax Map Number: 195-A 5
 Parcel ID: 006160
 Grantees Address: 1404 Honeysuckle Drive
 Blacksburg, VA 24060

GENERAL WARRANTY DEED

This Deed is made and entered into on this the 12th day of March, 2020, by and between **SUSAN M. SYPOLT, TRUSTEE OF THE SUSAN M. SYPOLT REVOCABLE TRUST**, Grantor, and **LUCAS TCR, LLC** , a Virginia limited liability company, Grantee.

WITNESSETH:

WHEREAS by Deed dated the 4th day of March, 2002, which deed is recorded in the Office of the Circuit Court Clerk of Montgomery County, Virginia, in Deed Book 1269 at Page 407, Eskel O. Essary (by guardian ad litem, Sharon K. Nissen) conveyed unto Cary W. Hopper and Susan M. Sypolt, husband and wife, the herein described property; and

WHEREAS Cary W. Hopper and Susan M. Sypolt entered into a divorce decree in 2009 and each obtained and acquired a one-half (1/2) undivided interest in and to the property; and

WHEREAS, Susan M. Sypolt conveyed her undivided one-half (1/2) interest in and to the property to the Susan M. Sypolt Revocable Trust by deed dated June 1, 2017, which deed is recorded in the Office of the Circuit Court Clerk of Montgomery County, Virginia, as Instrument Number 2017005479; and

WHEREAS it is the desire of Susan M. Sypolt, Trustee of the Susan M. Sypolt Revocable Trust, to convey its undivided one-half (1/2) interest in and to the hereinafter described property unto Lucas TCR, LLC.

NOW, THEREFORE, FOR AND IN CONSIDERATION of the sum of Ten and 00/100 Dollars (\$10.00) cash in hand paid by the Grantee unto the Grantor, and other good and valuable consideration, the receipt and sufficiency all of which is hereby expressly acknowledged, the Grantor does hereby **BARGAIN, SELL, GRANT AND CONVEY**, with **GENERAL**



WARRANTY AND MODERN ENGLISH COVENANTS OF TITLE, all of its undivided one-half (1/2) fee simple interest unto the said Grantee, Lucas TCR, LLC, a Virginia limited liability company, in and to all that certain lot, tract or parcel of land situate, lying and being in the Prices Fork Magisterial District of Montgomery County, Virginia, and being **Lot No. Four (4)** as shown on a map drawn by W.F. Wall, dated May 8, 1923, which map is of record in Deed Book 78, Page 398, in the Office of the Circuit Court of Montgomery County, Virginia, and **containing 40.65 acres**, and described as follows:

BEGINNING at a large walnut on the east side of the Old Giles Road, corner to Same Broce's Rep., thence N 47 ½° E 77 ½ poles, crossing Broce's branch at 51 poles, to a stake at a locust post; corner to Mrs. Hawley and the B.M. Barger land; thence with the Barger land N 11 ½° E, 85 poles to a stake or stone in the Brown's line, and corner to Lot #5; thence a division line with Lot #5, S 52° W 138 ½ poles to a stake or stone in the old road, corner to Lot #5; thence with the road as it meanders S 3° W 9 ½ poles, crossing branch to a stake; thence S 31° E 7 ¼ poles; thence S 44 deg. E 27 ¼ poles (passing Grissom's Corner at 16 poles); thence S 39° E 21 ½ poles to the place of **BEGINNING**.

TAX MAP NO.: 195-A 5;

PARCEL ID: 006160;

AND BEING a portion of the same property conveyed to Cary W. Hopper and Susan M. Sypolt, husband and wife, as tenants by the entirety with the right of survivorship as at common law by Deed from Eskel O. Essary, by guardian ad litem, Sharon K. Nissen dated March 4, 2002, recorded March 25, 2002 in the Clerk's Office of the Circuit Court of Montgomery County, Virginia in Deed Book 1269, Page 407.

AND FURTHER BEING the same property conveyed to Susan M. Sypolt, Trustee of the Susan M. Sypolt Revocable Trust Agreement dated April 23, 2013, by deed from Susan M. Sypolt dated June 1, 2017, recorded July 18, 2017, in the Clerk's Office of the Circuit Court of Montgomery County, Virginia, as Instrument No. 2017005479.

This conveyance is made subject to all easements, restrictions and conditions of record affecting the hereinabove described property.

WITNESS the following signature and seal:

THE SUSAN M. SYPOLT REVOCABLE TRUST

BY: Susan M Sypolt (SEAL)
SUSAN M. SYPOLT, Trustee

COMMONWEALTH OF VIRGINIA,

CCOUNTY OF MONTGOMERY, to-wit:

The foregoing instrument was acknowledged before me this 12th day of March, 2020
by Susan M. Sypolt, Trustee, for and behalf of The Susan M. Sypolt Revocable Trust.

Heather Kay Smith
Notary Public

My commission expires: 12-31-2021

My registration number: 12-31-2021



INSTRUMENT # 2020001950
RECORDED IN MONTGOMERY CIRCUIT COURT CLERK'S OFFICE
Mar 13, 2020 AT 03:46 pm
ERICA W. CONNER, CLERK by TMC
\$527.00 GRANTOR TAX WAS PAID
AS REQUIRED BY SEC 58.102 OF THE VA. CODE
STATE: \$263.50 LOCAL: \$263.50

VIRGINIA LAND RECORD COVER SHEET

Commonwealth of Virginia VA. CODE §§ 17.1-223, -227.1, -249

FORM A – COVER SHEET CONTENT

Instrument Date: **3/12/2020**

Instrument Type: **DBS**

Number of Parcels: **1** Number of Pages: **3**

City County **MONTGOMERY**
CIRCUIT COURT

Tax Exempt? **VIRGINIA/FEDERAL CODE SECTION**

Grantor:

Grantee:

Business/Name

1 Grantor: **HOPPER, CARY**

Grantor:

1 Grantee: **LUCAS TCR, LLC**

Grantee:

Grantee Address

Name: **LUCAS TCR, LLC**

Address: **1404 HONEYSUCKLE DRIVE**

City: **BLACKSBURG** State: **VA** Zip Code: **24060**

Consideration: **\$500,000.00** Existing Debt: **\$0.00** Actual Value/Assumed: **\$362,700.00**

PRIOR INSTRUMENT UNDER § 58.1-803(D):

Original Principal: **\$0.00** Fair Market Value Increase: **\$0.00**

Original Book No.: Original Page No.: Original Instrument No.:

Prior Recording At: City County Percentage In This Jurisdiction: **100%**

Book Number: Page Number: Instrument Number:

Parcel Identification Number/Tax Map Number: **195-A 5/ 006160**

Short Property Description: **LOT 4, CONTAINING 40.65 ACRES**

Current Property Address: **TOMS CREEK ROAD**

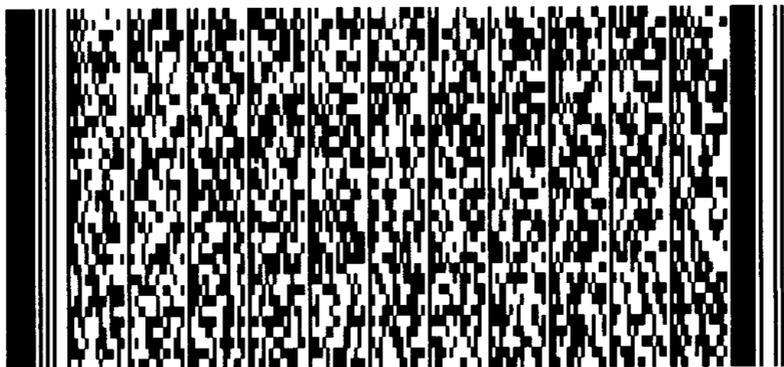
City: **BLACKSBURG** State: **VA** Zip Code: **24060**

Instrument Prepared By: **JOHN N. SPICER** Recording Paid By: **SPICER, OLIN & ASSOCIATES, P.C**

Recording Returned To: **SPICER, OLIN & ASSOCIATES, P.C.**

Address: **504 S. MAIN STREET**

City: **BLACKSBURG** State: **VA** Zip Code: **24060**



RECORDED IN
MONTGOMERY COUNTY, VA
ERICA W. CONNER
CLERK OF CIRCUIT COURT
FILED Mar 13, 2020
AT 03:46 pm
INSTR # 2020001952

TMC

(Area Above Reserved For Deed Stamp Only)

Prepared By: John N. Spicer, VSB No. 68845
 Consideration: \$ 500,000.00 (1/2 Interest)
 Tax Assessed Value: \$ 725,400.00 (\$362,700.00)
 Tax Map Number: 195-A 5
 Parcel ID: 006160
 Grantees Address: 1404 Honeysuckle Drive
 Blacksburg, VA 24060

GENERAL WARRANTY DEED

This Deed is made and entered into on this the 12th day of March, 2020, by and between **CARY HOPPER**, Grantor, and **LUCAS TCR, LLC**, a Virginia limited liability company, Grantee.

WITNESSETH:

WHEREAS by Deed dated the 4th day of March, 2002, which deed is recorded in the Office of the Circuit Court Clerk of Montgomery County, Virginia, in Deed Book 1269 at Page 407, Eskel O. Essary (by guardian ad litem, Sharon K. Nissen) conveyed unto Cary W. Hopper and Susan M. Sypolt, husband and wife, the herein described property; and

WHEREAS Cary W. Hopper and Susan M. Sypolt entered into a divorce decree in 2009 and each obtained and acquired a one-half (1/2) undivided interest in and to the property; and

WHEREAS it is the desire of Cary W. Hopper to convey his undivided one-half (1/2) interest in and to the hereinafter described property unto Lucas TCR, LLC; and

NOW, THEREFORE, FOR AND IN CONSIDERATION of the sum of Ten and 00/100 Dollars (\$10.00) cash in hand paid by the Grantee unto the Grantor, and other good and valuable consideration, the receipt and sufficiency all of which is hereby expressly acknowledged, the Grantor does hereby **BARGAIN, SELL, GRANT AND CONVEY**, with **GENERAL WARRANTY AND MODERN ENGLISH COVENANTS OF TITLE**, all of his undivided one-half (1/2) fee simple interest unto the said Grantee, Lucas TCR, LLC, a Virginia limited liability company,



in and to all that certain lot, tract or parcel of land situate, lying and being in the Prices Fork Magisterial District of Montgomery County, Virginia, and being **Lot No. Four (4)** as shown on a map drawn by W.F. Wall, dated May 8, 1923, which map is of record in Deed Book 78, Page 398, in the Office of the Circuit Court of Montgomery County, Virginia, and **containing 40.65 acres**, and described as follows:

BEGINNING at a large walnut on the east side of the Old Giles Road, corner to Same Broce's Rep., thence N 47 ½° E 77 ½ poles, crossing Broce's branch at 51 poles, to a stake at a locust post; corner to Mrs. Hawley and the B.M. Barger land; thence with the Barger land N 11 ½° E, 85 poles to a stake or stone in the Brown's line, and corner to Lot #5; thence a division line with Lot #5, S 52° W 138 ½ poles to a stake or stone in the old road, corner to Lot #5; thence with the road as it meanders S 3° W 9 ½ poles, crossing branch to a stake; thence S 31° E 7 ¼ poles; thence S 44 deg. E 27 ¼ poles (passing Grissom's Corner at 16 poles); thence S 39° E 21 ½ poles to the place of **BEGINNING**.

TAX MAP NO.: 195-A 5;

PARCEL ID: 006160;

AND BEING a portion of the same property conveyed to Cary W. Hopper and Susan M. Sypolt, husband and wife, as tenants by the entirety with the right of survivorship as at common law by Deed from Eskel O. Essary, by guardian ad litem, Sharon K. Nissen dated March 4, 2002, recorded March 25, 2002 in the Clerk's Office of the Circuit Court of Montgomery County, Virginia in Deed Book 1269, Page 407.

This conveyance is made subject to all easements, restrictions and conditions of record affecting the hereinabove described property.

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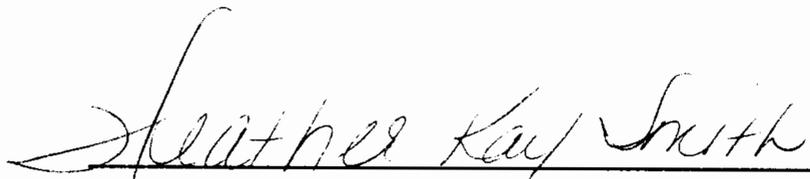
WITNESS the following signature and seal:

 (SEAL)
CARY HOPPER

COMMONWEALTH OF VIRGINIA,

CCOUNTY OF MONTGOMERY, to-wit:

The foregoing instrument was acknowledged before me this 12th day of March, 2020,
by Cary Hopper.


Notary Public

My commission expires: 12-31-2021

My registration number: 7283009



INSTRUMENT # 2020001952
RECORDED IN MONTGOMERY CIRCUIT COURT CLERK'S OFFICE
Mar 13, 2020 AT 03:46 pm
ERICA W. CONNER, CLERK by TMC
\$500.00 GRANTOR TAX WAS PAID
AS REQUIRED BY SEC 58.102 OF THE VA. CODE
STATE: \$250.00 LOCAL: \$250.00

Berewick Home Elevation and Architectural Examples

The Madison



The Madison



The Lexington

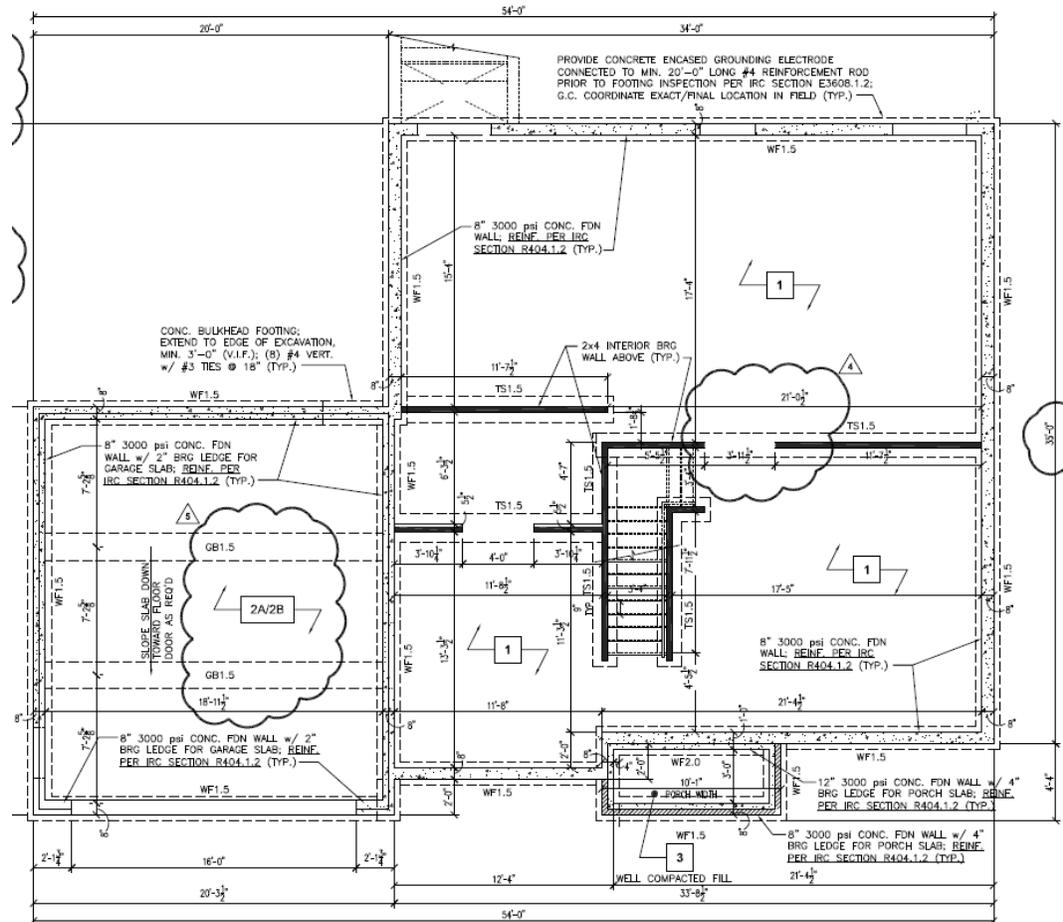


The Lexington

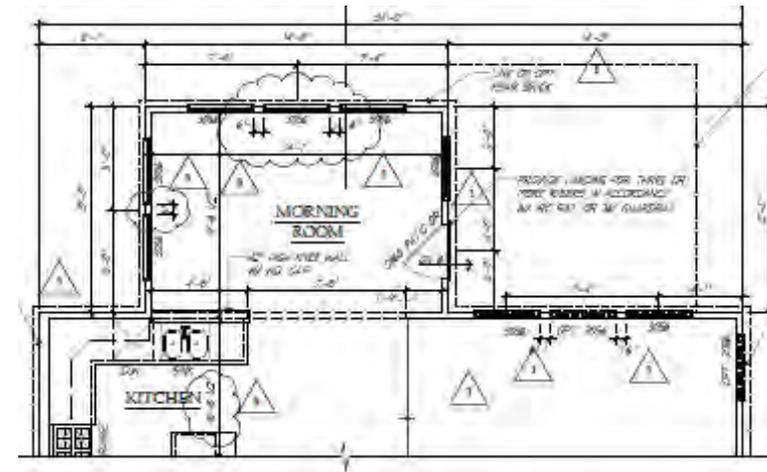


Lexington Footprints

Base home condition



Structural Options



The Chesapeake



The Chesapeake



The Eggleston

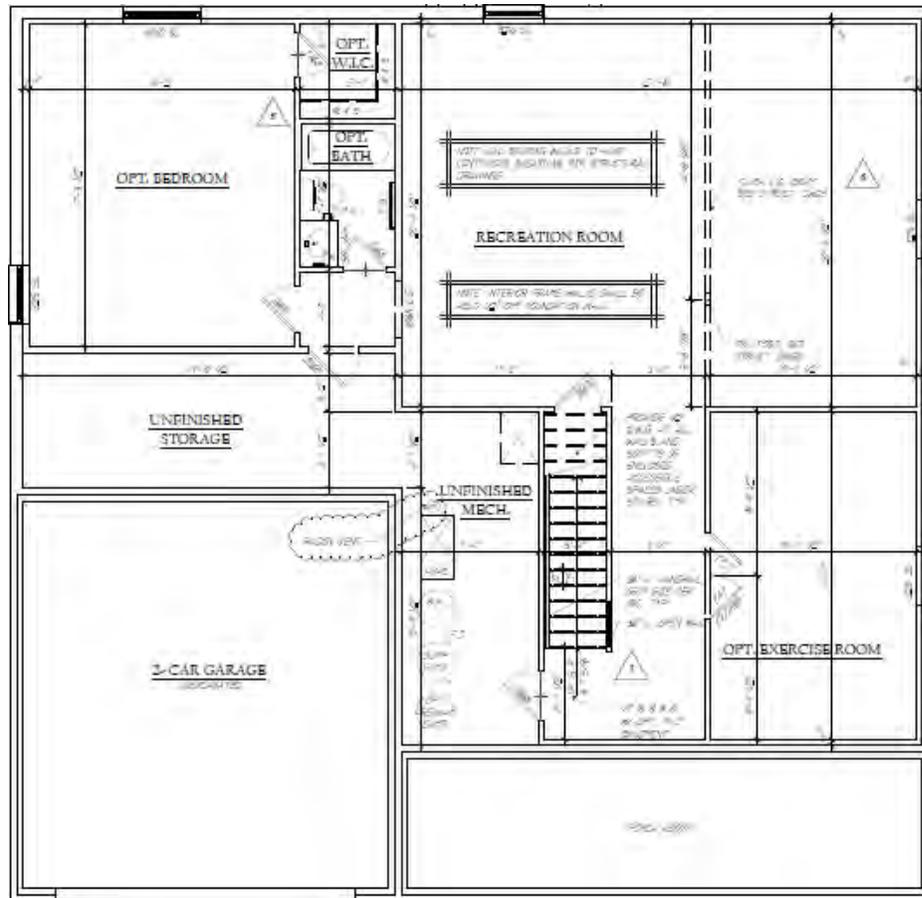


The Eggleston

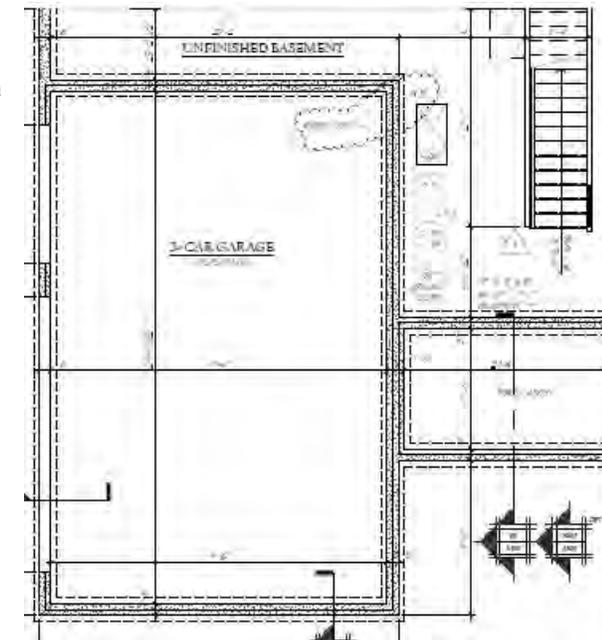
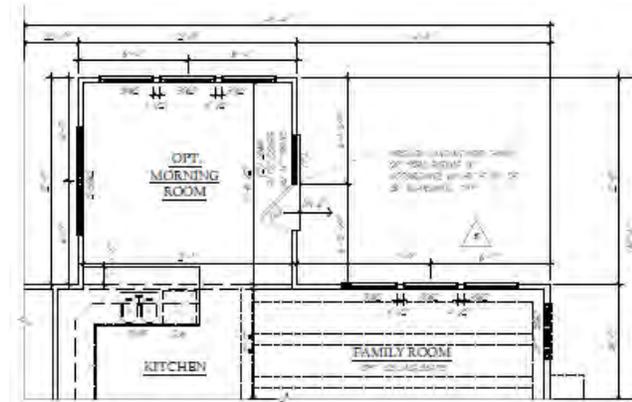


Eggleston Footprints

Base House Condition



Structural Options



The Burwell

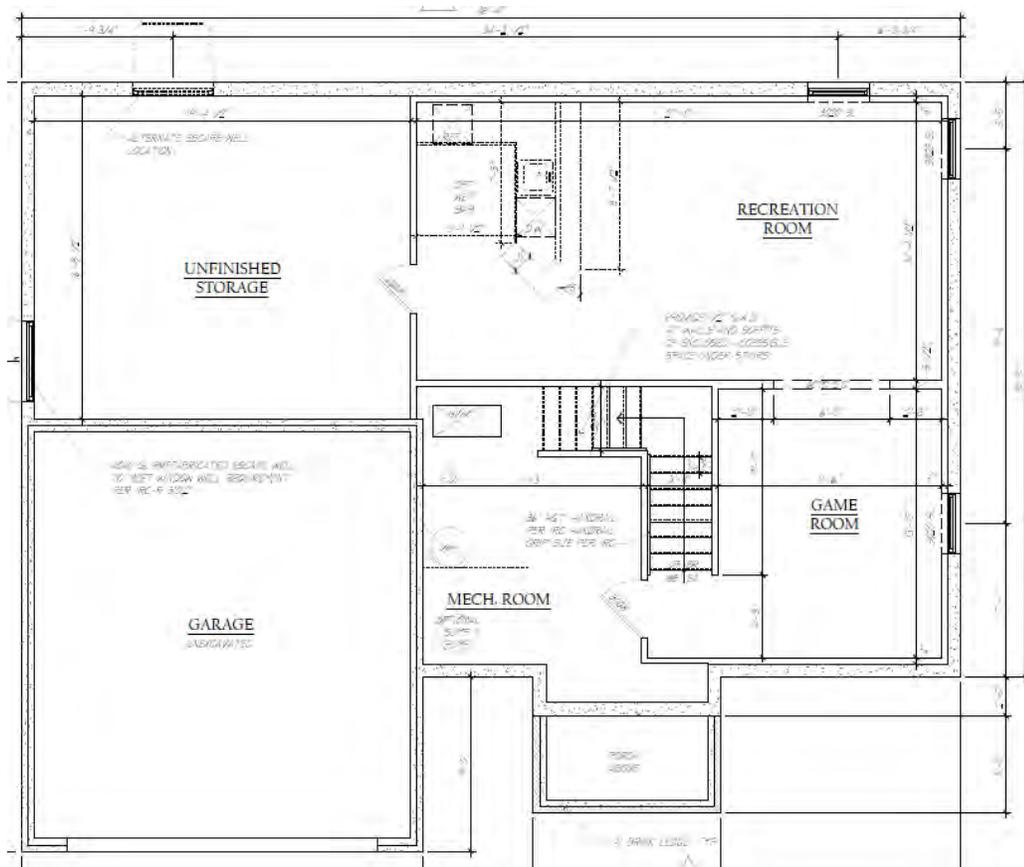


The Burwell

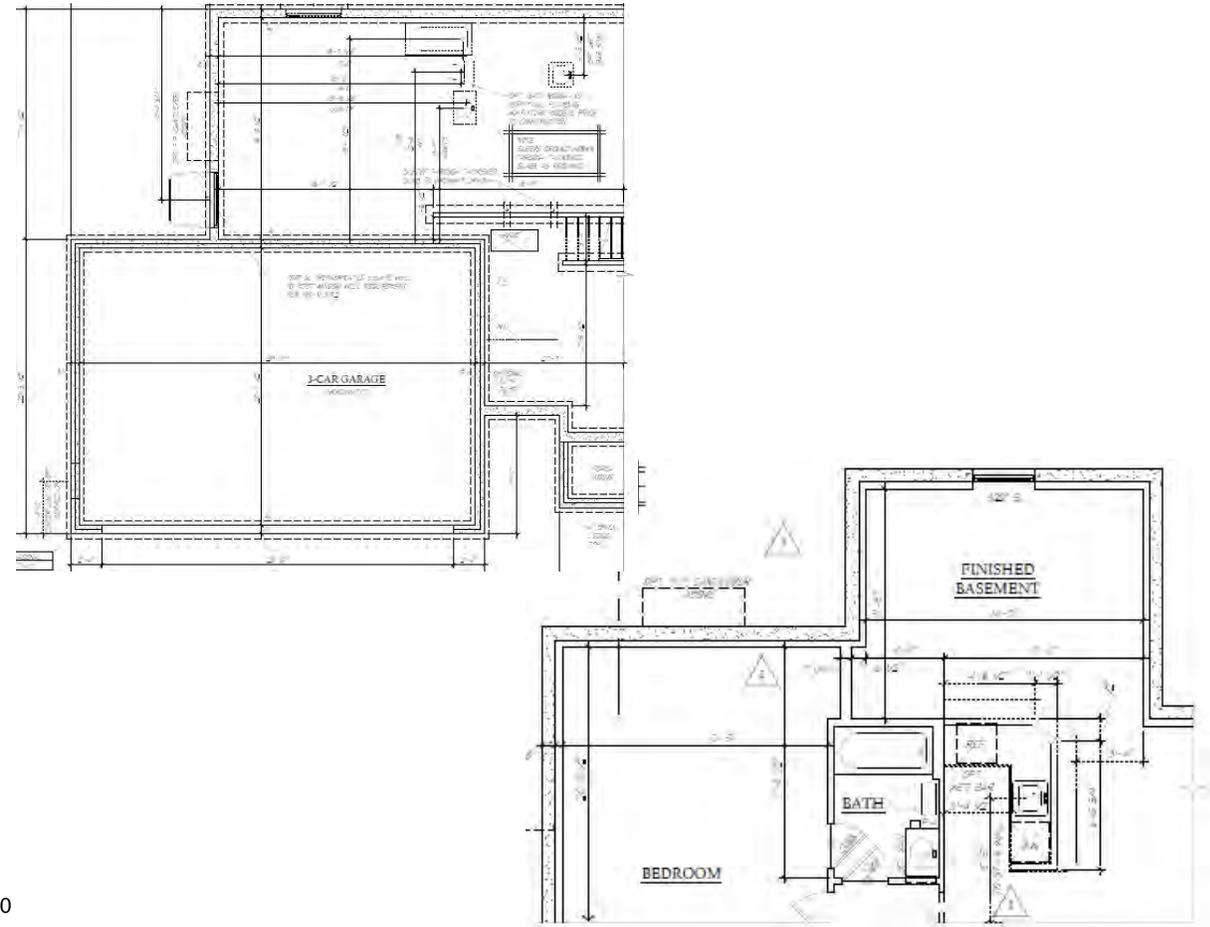


Burwell Footprints

Base House Condition



Structural Options



The Ashland

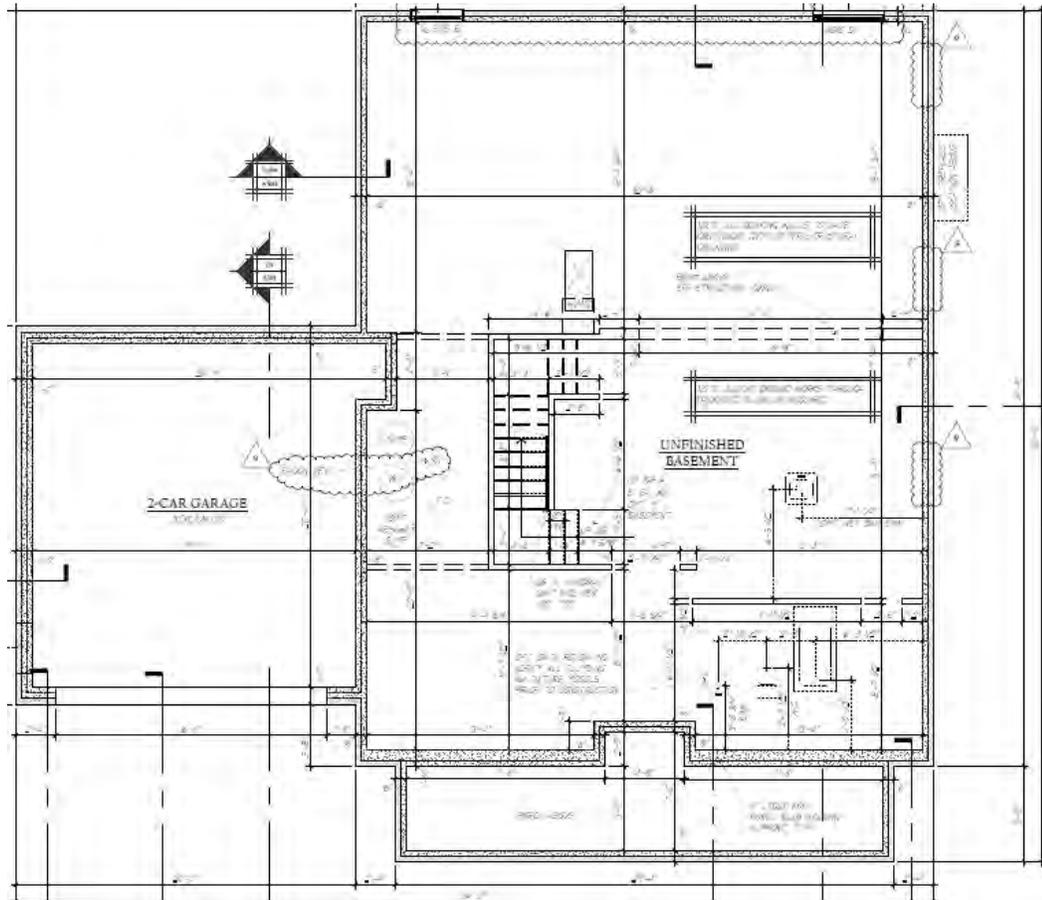


The Ashland

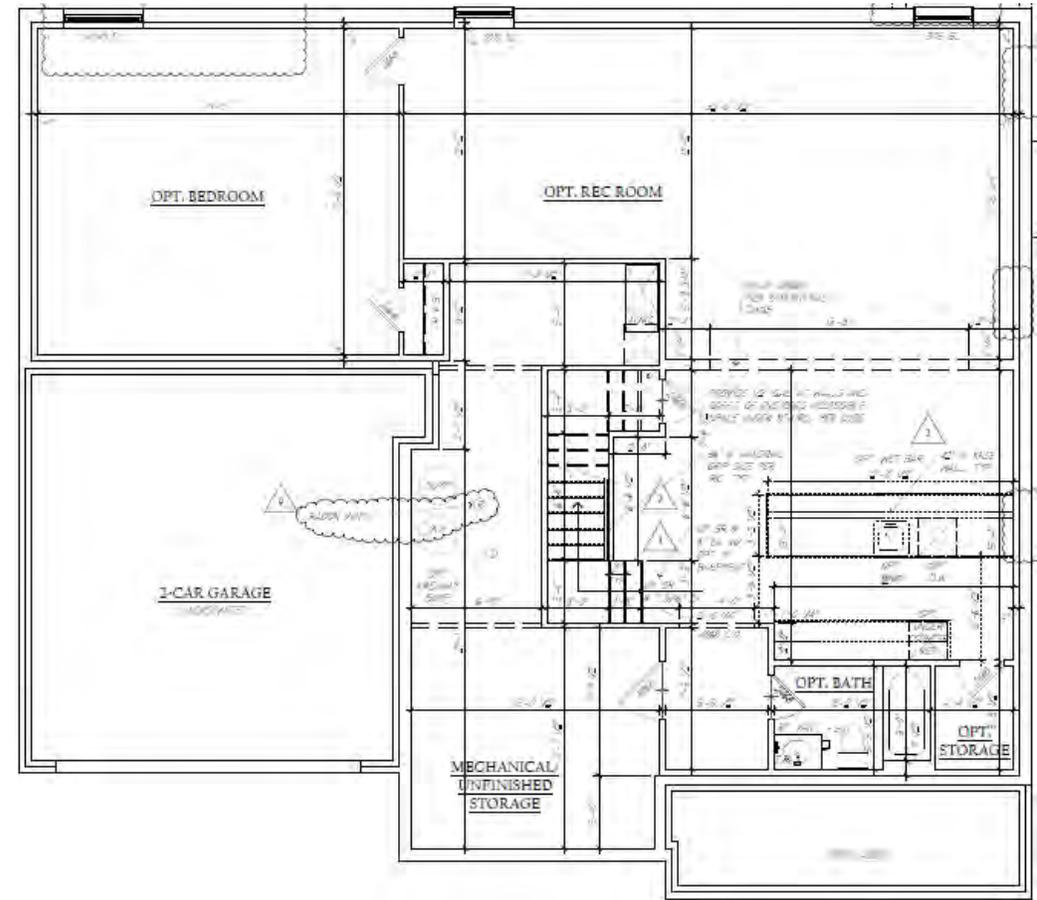


Ashland Footprints

Base House Condition



Structural Options



The Belmont & The Belmont Terrace

Traditional



Arts & Crafts



Craftsman



The Carlisle

Traditional



Arts & Crafts



Craftsman



The Caroline

Arts & Crafts



Craftsman



The Corvallis

Traditional



Colonial



Craftsman



European



The Fulton

Arts & Crafts



Colonial



Folk Victorian



The Hartford II

Arts & Crafts



Craftsman



European



The Hartford Terrace

Traditional



Craftsman



European



The Linden III

Traditional



Craftsman



Folk Victorian



The Linden Terrace

Traditional



Craftsman



Folk Victorian

